

File Copy

DEVELOPMENT APPLICATION# 2025-022 DATE FILED: 10/7/25

**MANTUA TOWNSHIP MAJOR SITE PLAN/CONDITIONAL USE APPLICATION**

**INSTRUCTIONS:**

- A. The applicant shall submit the following item in accordance with the required submission dates in this package.
  1. Seventeen (17) copies of this application form.
  2. Application/Escrow Fees and W9.
  3. Seventeen (17) copies of the site plan including all details and materials. Five (5) full size sealed drawings and twelve (12) reduced 11x17 sealed drawings.
- B. All requests for conditional use approval and site plan approval require public notice pursuant to the Municipal Land Use Law.

OWNER: 450 Bridgeton Pike LLC

ADDRESS: 11 Lincoln Avenue, Woodbury Heights, NJ 08097

TELEPHONE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

APPLICANT: (if different from owner) same as above

ADDRESS: \_\_\_\_\_

TELEPHONE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

ENGINEER: William P. Gilmore, PE, CME - Site Civil Engineering

ADDRESS: 2205 Delsea Drive, Suite 7, Franlinville, NJ 08322

TELEPHONE: (856) 885-8679 EMAIL: wgilmore@sitecivilengineering.com

ATTORNEY: Kathie L. Renner, Esquire - Brown & Connery, LLP

ADDRESS: 6 N. Broad Street, Suite 100, Woodbury, NJ 08096

TELEPHONE: (267) 476-1151 EMAIL: krenner@brownconnery.com

Any other expert who may submit reports or who will testify for the applicant shall be included on an additional sheet.

**PROPERTY INFORMATION:**

MAJOR SITE PLAN  AMENDED MAJOR SITE PLAN  CONDITIONAL USE

LOCATION: 450 Bridgeton Pike

BLOCK: 46.03 LOT(S) 5.02 TAX MAP: 12

ZONING DISTRICT: CC LOT SIZE: 4.20 acres

PRESENT USE OF LAND: office facility

PROPOSED USE OF LAND: Personal services suites, restaurant and daycare

DESCRIPTION OF PROPOSED USE AND HOURS OF OPERATION: \_\_\_\_\_

\_\_\_\_\_

PROPOSED BUILDING SIZE: 19,681 sq. ft.

**PROPERTY INFORMATION CONTINUED:**

RESTRICTIONS, COVENANTS, EASEMENTS, ASSOCIATION BY-LAWS, EXISTING OR PROPOSED ON THE PROPERTY YES(copies must be attached)  X  NO

ARE THE FOLLOWING PRESENT:

X  Public Water  X  Public Sewer

Are off tract improvements required or proposed:  No

IF VARIANCES ARE REQUESTED as a part of this minor site plan/conditional use approval they must be listed, including zoning code sections (attach additional pages if needed):

Attached please find a list of requested variances.

IF DEVELOPMENT STANDARDS OR SUBMISSION REQUIREMENT WAIVERS ARE REQUESTED they must be listed (attach additional pages if needed):

HAS THE SUBJECT PROPERTY RECEIVED PREVIOUS APPROVAL OF ANY DEVELOPMENT APPLICATION? Site Plan/Conditional Use/Variance YES  X  NO   (If yes state date/type of approval)

I certify all information and materials submitted are true and accurate. I further certify that I am the individual applicant or that I am an Officer of the Corporation applicant and that I am authorized to sign the application for the Corporation or that I am a general partner of the partnership.

*Aty Jint*   
SIGNATURE OF APPLICANT

Sworn and subscribed before me this  7th  day of  October , 20 25

*[Signature]*   
NOTARY PUBLIC

DOMINIC J. COTUGNO  
Notary Public, State of New Jersey  
Comm. # 56207226  
My Commission Expires 02/22/2028

**Requested Variances:**

**A Conditional Use Variance is required due to the following:**

Daycare:

- §230-65.6(9)(c) – The proposed distance from the public street is 26’ where 50’ is required.
- §230-65.6(9)(f) – The proposed Berm & Buffer is 10’ where 25’ is required.
- §230-65.6(9)(h) – The proposed minimum interior sq. ft. is 35.5 sq. ft. where 40 sq. ft. is required.
- §230-65.6(9)(i) - Outdoor recreational area of 100 sf per person is required where 1500 sf is provided.

Relief is also requested, if determined necessary from a preexisting Landscape Buffer requirement for adjoining residential property where 75 ft is required and 30 ft is existing.

**TOWNSHIP OF MANTUA  
CHECKLIST OF MAJOR SUB-DIVISION AND SITE PLANS**

**APPLICABILITY** – See Site Plan, Subdivision definitions in Section 230-7 of the Mantua Code

**CRITERIA:** Section 230-83, Mantua Code (Land Development and Use)

**Section 230-83,B, (1) = Key Map**

To Scale of 1 inch = 2,000 feet or less

**Section 230-83,B, (2) = Title Block**

Names of Project, (Mantua) Township, (Gloucester) County

Name, address of subdivider or developer

Name, address of owner(s) of record

Plan scale

Date of original preparation, subsequent revisions.

**Section 230-83,B, (3) = North Arrow**

**Section 230-83,B, (4) = Proof of Ownership**

Certification that the Applicant owns the property OR

Certification that the Owner has given consent under an option agreement

**Section 230-83,B, (5) = Approval signatures**

Chairman of the Land Use Board

Secretary of the Land Use Board

**Section 230-83,B, (6)**

Tract acreage (to nearest tenth of an acre)

Area within tract to be disturbed.

**Section 230-83,B, (7)**

Names, addresses of property owners within 200 feet of the tract.

**Section 230-83,B, (14) = Existing and proposed lakes, ponds or streams (if any)**

n/a Cross-sections of watercourses and/or drainage swales, showing the extent of the floodplain, top of bank, normal water levels, and bottom elevations.

n/a The total acreage of the drainage basin of any watercourse running through or adjacent to the tract.

n/a Locations of drainage structures immediately upstream and downstream of the tract.

n/a Hydrologic and hydraulic calculations for existing and proposed drainage structures (detention basins, outfalls, culverts, etc.)

n/a Locations of drainage and conservation easements.

n/a Locations of stream encroachments floodways and 100 year flood fringe lines.

n/a Locations and water levels of existing lakes and ponds on or within 200 feet of the tract.

**Section 230-83,B, (15) = Soil Erosion and Sediment Control (SE/SC Measures)**

Locations of SE/SC measures

Details for SE/SC measures (e.g. haybales)

SE/SC Notes

**Section 230-83,B, (16) = Locations of Existing Structures**

- Existing and/or proposed front, side, and rear yard setback and distances.  
 Indication(s) whether existing structure(s) will be retained or removed.

**Section 230-83,B, (17)**

- Sizes, heights, and locations of proposed structures, signs, and lighting facilities.

**Section 230-83,B, (18)**

- Other necessary Area and Yard data (e.g. Lot coverages, floor area ratios, etc.)

**Section 230-83,B, (19)**

- Locations, mounting heights of lighting facilities.  
 Types, power usages of proposed lighting facilities.  
 Details, isofootcandle lines for lighting facilities.

**Section 230-83,B, (20) = Landscaping requirements**

- Buffer zones required along lot, street lines for non-residential lots that abut residential tracts or streets adjacent to residential tracts (per section)  
 Landscaping in parking areas (per Section 230-31 B of the Mantua Code.

**Section 230-83,B, (21) = Location/design of off-street parking areas.**

- Sizes, locations of bays, aisles and barriers.

**Section 230-83,B, (22) = Vehicular Access**

- Ingress/egress to/from site to public streets.  
 Locations of driveways  
 Curb cuts for proposed paving

**Section 230-83,B, (23) = Storm Drainage Systems**

- Existing/proposed storm sewer lines  
 Locations, inverts of catch basins, inlets, manholes, culverts, and headwalls.  
 Locations of proposed groundwater recharge (retention) basins and detention basins.

**Section 230-83,B, (24) = Existing Utilities**

- Locations of water and sewer mains.  
 Locations of gas transmission mains.  
 Locations of high-tension power lines, on tract and within 200 feet of tract.

**Section 230-83,B, (27)**

- a copy(ies) of any protected covenants or deed restrictions.

**Section 230-83,B, (29) = Additional information (if required by the Land Use Board)**

- Drainage calculations  
 Traffic studies  
 Other

**Section 230-83,B, (25) = Proposed Improvements and Utilities (if applicable)**

- Locations, profiles for proposed sewer, storm and water mains.  
 Feasible connections to gas, telephone and electrical utility systems.  
 Borings, percolation data for proposed on-lot septic systems.

**Section 230-83,B, (8)**

- Existing block and lot number(s) with the lot(s) to be subdivided or developed as they appear on the Township Map; and
- Proposed block and lot numbers as provided by the County Tax Assessor (upon written request)

**Section 230-83,B, (9) = Tract Boundary Line**

- (heavy solid line)

**Section 230-83,B, (10) = Zoning Data**

- Zoning district(s) affecting the tract.
- Area and Yard Requirements of Zoning District(s).

**Section 230-83,B, (11) = Locations, dimensions of:**

- n/a Existing and proposed bridges
- partial waiver Natural features (e.g. wooded areas, extensive rock formations) (both within tract and within 200 feet of tract boundaries)

**Sections 230-83,B, (12) = Topography**

- For slopes less than 10%, existing contours at one foot intervals.
- For slopes greater than 10%, existing contours at five foot intervals.
- Existing contour lines as dashed lines
- Proposed contour lines as solid lines

**Sections 230-83,B, (13) = Vegetation**

- Locations, species names of all treed areas with trees having a calliper of eight inches or more, measured three (3) feet above ground level.
- Proposed landscaping, including locations, types, sizes and quantities of proposed plantings.

**Sections 230-83,B, (26) = Streets information (existing and proposed)**

- Typical cross sections and details
- Center line profiles
- Tentative grades (proposed streets only), based on USGS vertical datum
- Curbing sidewalk
- Storm drains, other drainage structures
- Site triangles (where applicable) at Intersections

**Requested Variances:**

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- §230-65.6(9)(i) - Outdoor recreational area of 100 sf per person is required where 1500 sf is provided.

Relief is also requested, if determined necessary from a preexisting Landscape Buffer requirement for adjoining residential property where 75 ft is required and 30 ft is existing.

PROPERTY OWNERS WITHIN 200 FEET

Municipality	Block	Lot	Qualifier	Address	Owner Name	Owner Address	Owner City	Additional Data
Mantua Township	46.03	5		475 JESSUP MILL RD	NEWTON, TERESA L	417 STANFORD AVE	IRVINGVILLE, NJ 08051	
Mantua Township	46.03	501		400 BRIDGETON PK	BENNETT, PAUL M & ROBERTA TRUSTEE	2445 NW WISTOVER RD #403	PORTLAND, OR 97210	
Mantua Township	46.03	503		3 LITTLE MALL CT	WATSON, CHRISTOPHER J & TRACY L	3 LITTLE MALL CT	MANTUA, NJ 08051	
Mantua Township	46.03	504		5 LITTLE MALL CT	CARROLL, DAVID	5 LITTLE MALL CT	MANTUA, NJ 08051	
Mantua Township	46.03	505		7 LITTLE MALL CT	NAGAL, DEORJA M & JEFFREY J	7 LITTLE MALL CT	MANTUA, NJ 08051	
Mantua Township	46.03	506		9 LITTLE MALL CT	PASTOR, NICHOLAS M & DIANA N	9 LITTLE MALL CT	MANTUA, NJ 08051	
Mantua Township	46.03	507		11 LITTLE MALL CT	WITZ, KENNETH L & DANIELLE	11 LITTLE MALL CT	MANTUA, NJ 08051	
Mantua Township	46.03	508		10 LITTLE MALL CT	KUC, CARRIE LYNN & ROBERT GLENN JR	10 LITTLE MALL CT	MANTUA, NJ 08051	
Mantua Township	46.03	509		8 LITTLE MALL CT	MUSICK, LLOYD & MARIL	8 LITTLE MALL CT	MANTUA, NJ 08051	
Mantua Township	46.03	6		408 BRIDGETON PK	GRANATO, DEBORAH & LOUIS	465 MANTUA BLVD	SEWELL, NJ 08040	
Mantua Township	46.03	7	OFARRE	BRIDGETON PK	GRANATO, LOUIS & CLARA	PO BOX 114	MANTUA, NJ 08051	
Mantua Township	47	3		460 JESSUP MILL RD	HAMILTON, CATHY & JOHN	460 JESSUP MILL RD	MANTUA, NJ 08051	
Mantua Township	47	4		475 HARRISON AVE	SOLINA, NANCY	475 HARRISON AVE	MANTUA, NJ 08051	
Mantua Township	47	6		455 HARRISON AVE	CATRAMONTE, SUSANNE F	230 MORRIS ST	MANTUA, NJ 08051	
Mantua Township	47	8		480 JESSUP MILL RD	CASARE, RALPH & SUSAN	319 PITMAN RD	SEWELL, NJ 08060	
Mantua Township	47	9		470 JESSUP MILL RD	COLLINS, JACQUELYN A & RONALD L JR	470 JESSUP MILL RD	MANTUA, NJ 08051	
Mantua Township	47.01	7		491 HARRISON AVE	AMERICAN WATER SSC	TAX DEPT PO BOX 2718	CAMDEN, NJ 08101	
Mantua Township	58	15		398 BRIDGETON PK	SCOOB MANTUA PROPERTIES LLC	204 LINDEN AVE	SEWELL, NJ 08049	
Mantua Township	58	16		456 HARRISON AVE	AUGUST, MELISSA A	275 E HIGH ST	GLASSBORO, NJ 08028	
Mantua Township	58	17		454 HARRISON AVE	ROHR, JOSEPH T	454 HARRISON AVE	MANTUA, NJ 08051	18
Mantua Township	58	18		454 HARRISON AVE	ROHR, JOSEPH T	454 HARRISON AVE	MANTUA, NJ 08051	18
Mantua Township	146	1		160 MT ROYAL RD	SWOPE, HARRY J JR & KATHARINE EST	160 MT ROYAL RD	SEWELL, NJ 08050	
Mantua Township	146	1.01		455 BRIDGETON PK	MOUNT ROYAL PARTNERS LLC	41 S HADDON AVE STE 1	HADDONFIELD, NJ 08033	
Mantua Township	146	10		455 BRIDGETON PK	HEARTAGES DAIRY STORES INC	376 JESSUP RD	THORNTON, NJ 08066	

# SITE PLANS

FOR

## SUN KISS PROPERTIES, LLC

### PLATE 12, BLOCK 46.03, LOT 5.02

SITUATED IN THE:

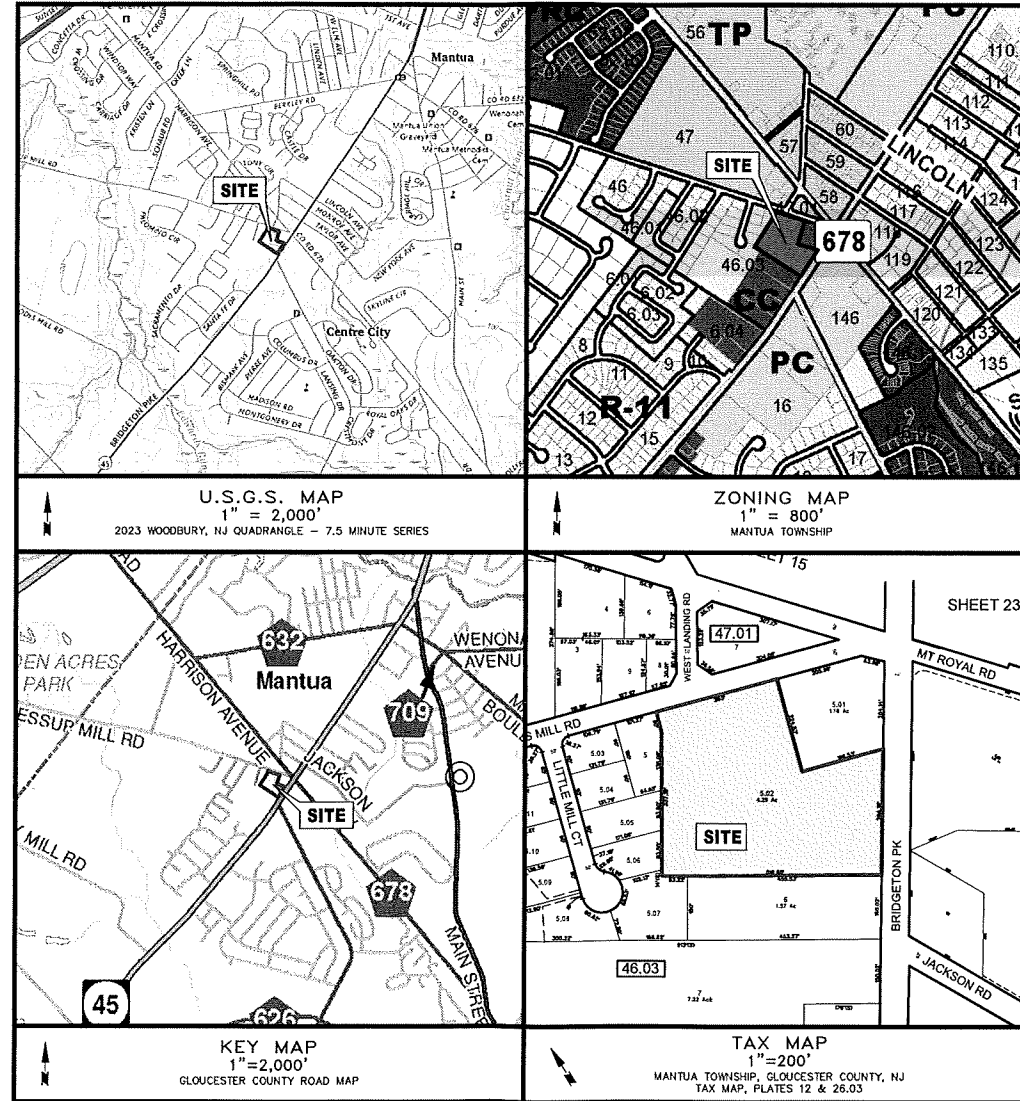
### TOWNSHIP OF MANTUA, GLOUCESTER COUNTY, NEW JERSEY

**SITE STATISTICS**

<b>OWNER/APPLICANT:</b>	SUN KISS PROPERTIES, LLC 4551 ROUTE 42 TURTLE CREEK, NJ 08052			
<b>TRACT IDENTIFICATION:</b>	PLATE 12, BLOCK 46.03, LOT 5.02 BROADWAY BRIDGETON PK & JESSUP'S MILL ROAD MANTUA TOWNSHIP, NJ			
<b>TRACT AREA:</b>	168,796 SF (4.284 AC)			
<b>EXISTING USE:</b>	OFFICE			
<b>PROPOSED USE:</b>	PERSONAL SERVICES, RESTAURANT, & DAYCARE			
<b>ZONING:</b>	CC - COMMUNITY COMMERCIAL			
<b>BULK STANDARDS FOR COMMUNITY COMMERCIAL DISTRICT (CC):</b>				
<b>ITEM</b>	<b>REQUIRED</b>	<b>EXISTING</b>	<b>PROPOSED</b>	<b>STATUS</b>
MINIMUM LOT SIZE	30,000 SF	168,796 SF (4.284 AC)	168,796 SF (4.284 AC)	CONFORMS
MINIMUM LOT FRONTAGE	150 FT	293.00 FT	293.00 FT	CONFORMS
MINIMUM LOT WIDTH	150 FT	293.00 FT	293.00 FT	CONFORMS
MINIMUM LOT DEPTH	150 FT	387.19 FT	387.19 FT	CONFORMS
MINIMUM SIDE YARD (NON-RESIDENTIAL)	10 FT	25.8 FT	25.8 FT	CONFORMS
MINIMUM SIDE YARD (ADJ. RESIDENTIAL USE OR ZONED)	25 FT	106.2 FT	106.2 FT	CONFORMS
MINIMUM FRONT YARD	50 FT	56.3 FT	56.3 FT	CONFORMS
MINIMUM REAR YARD	30 FT	106.2 FT	106.2 FT	CONFORMS
MAXIMUM BUILDING HEIGHT	35 FT	< 35 FT	< 35 FT	CONFORMS
MAXIMUM BUILDING COVERAGE	30 %	11 %	11 %	CONFORMS
MAXIMUM LOT COVERAGE	80 %	44 %	50 %	CONFORMS
PARKING WIDTH	9 FT	9 FT	9 FT	CONFORMS
PARKING LENGTH	18 FT	18 FT	18 FT	CONFORMS
PARKING DRIVE AISLE TWO-WAY	24 FT	24 FT	24 FT	CONFORMS
MINIMUM PARKING SPACES	164	119	116	CONFORMS
<b>LANDSCAPE BUFFERS:</b>				
ADJACENT TO STREET LINE	25 FT	-	50 FT	CONFORMS
ADJACENT TO RESIDENTIAL	75 FT	30 FT	30 FT	VIOLATION (EXISTING)
ADJACENT TO NON-RESIDENTIAL LOT	10 FT	10 FT	10 FT	CONFORMS
<b>DAY-CARE CENTER (CONDITIONAL USE):</b>				
TRACT AREA	1 AC	4.284 AC	4.284 AC	CONFORMS
MINIMUM LOT FRONTAGE	150 FT	293.00 FT	293.00 FT	CONFORMS
MIN STRUCTURE WITHIN PUBLIC STREET OR PROPERTY LINE	50 FT	25.8 FT	25.8 FT	VIOLATION (EXISTING)
MAXIMUM BUILDING COVERAGE	20 %	11 %	11 %	CONFORMS
MAXIMUM IMPERVIOUS COVERAGE	50 %	44 %	50 %	CONFORMS
BERM & LANDSCAPED BUFFER	25 FT	10 FT	10 FT	VIOLATION (EXISTING)
MAXIMUM BUILDING HEIGHT	35 FT	< 35 FT	< 35 FT	CONFORMS
MINIMUM INTERIOR AREA* (PER PERSON)	40 SF	-	35 SF	VIOLATION
MINIMUM OUTDOOR PLAY AREA WITHIN A FENCE (PER PERSON)	100 SF	-	-	-
LICENSED BY APPROPRIATE STATE AND LOCAL OFFICIALS	YES	-	YES	CONFORMS
CARE PROVIDED PER DAY	< 18 HRS	-	< 18 HRS	CONFORMS
OFF-STREET PARKING AS REQUIRED BY §303-9	YES	-	YES	CONFORMS
<b>*INTERIOR AREA CALCULATION:</b>				
CHILDREN	67	-	-	-
ADULTS	15	-	-	-
TOTAL	82	-	-	-
2856 SF / 82 = 35 SF	-	-	-	-
<b>BUILDING SCHEDULE:</b>				
RESTAURANT	7,016 SF (4,896 FOR PATRONS)	-	-	-
PERSONAL SERVICES	9,810 SF	-	-	-
DAYCARE	2,856 SF	-	-	-
TOTAL	19,682 SF	-	-	-

**PARKING & LOADING REQUIREMENTS**

<b>PARKING SCHEDULE:</b>			
RESTAURANT	ONE SPACE PER EVERY 50 SQUARE FEET OF FLOOR AREA DEVOTED TO PATRON USE.		
PERSONAL SERVICE ESTABLISHMENT, OTHER THAN IN A SHOPPING CENTER OF 100,000 OR MORE SQUARE FEET. FIVE SPACES FOR EVERY 1,000 SQUARE FEET.			
DAY-CARE CENTER	ONE SPACE PER EVERY EMPLOYEE, PLUS TWO SPACES PER 1,000 SQUARE FEET OF FLOOR AREA.		
RESTAURANT	4,896 / 50 =	97.9	
PERSONAL SERVICE	9,810 / 1,000 = 9.8 x 5 =	49.0	
DAYCARE	2,856 / 1,000 = 2.8 x 2 + 15 (EMPLOYEES) =	20.6	
TOTAL		167.5	OR 164 PARKING STALLS
PROPOSED PARKING STALLS		176	PARKING STALLS (INCLUDING 8 HC STALLS AND 4 EV STALLS)
<b>USE</b>			
SERVICE ESTABLISHMENT	10,000 SF	9,810 SF	0
RESTAURANT	10,000 SF	7,016 SF	0
SCHOOL	10,000 SF	2,856 SF	0
TOTAL			0 REQUIRED
EXISTING			1
*SF AT WHICH 1ST LOADING DOCK IS REQUIRED			



FINAL SITE PLAN APPROVAL GRANTED ON \_\_\_\_\_ BY THE TOWNSHIP OF MANTUA PLANNING BOARD.

PLANNING BOARD SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

I HEREBY CERTIFY THAT THE ENGINEERING CONDITIONS IMPOSED ON THIS APPLICATION FOR FINAL SITE PLAN APPROVAL HAVE BEEN MET.

PLANNING BOARD ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

PLANNING BOARD PLANNER \_\_\_\_\_ DATE \_\_\_\_\_

PLANNING BOARD ENVIRONMENTAL ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

I HEREBY CERTIFY THAT I AM THE OWNER AND APPLICANT OF RECORD OF THE SITE HEREIN DEPICTED AND THAT I CONCUR WITH THE PLAN.

OWNER/APPLICANT NAME \_\_\_\_\_ DATE \_\_\_\_\_

**INDEX OF SHEETS**

SHEET NO.	DESCRIPTION	ORIGINAL DATE	REVISION DATE
1	COVER SHEET	OCTOBER 6, 2025	-
2	AERIAL EXHIBIT	OCTOBER 6, 2025	-
3	DEMOLITION PLAN	OCTOBER 6, 2025	-
4	SITE PLAN	OCTOBER 6, 2025	-
5	GRADING PLAN	OCTOBER 6, 2025	-
6	LANDSCAPING PLAN	OCTOBER 6, 2025	-
7	LIGHTING PLAN	OCTOBER 6, 2025	-
8	SOIL EROSION PLAN	OCTOBER 6, 2025	-
9	SOIL EROSION & SEDIMENT CONTROL DETAILS	OCTOBER 6, 2025	-
10	CONSTRUCTION DETAILS	OCTOBER 6, 2025	-

APPLICATION # \_\_\_\_\_

**COVER SHEET**

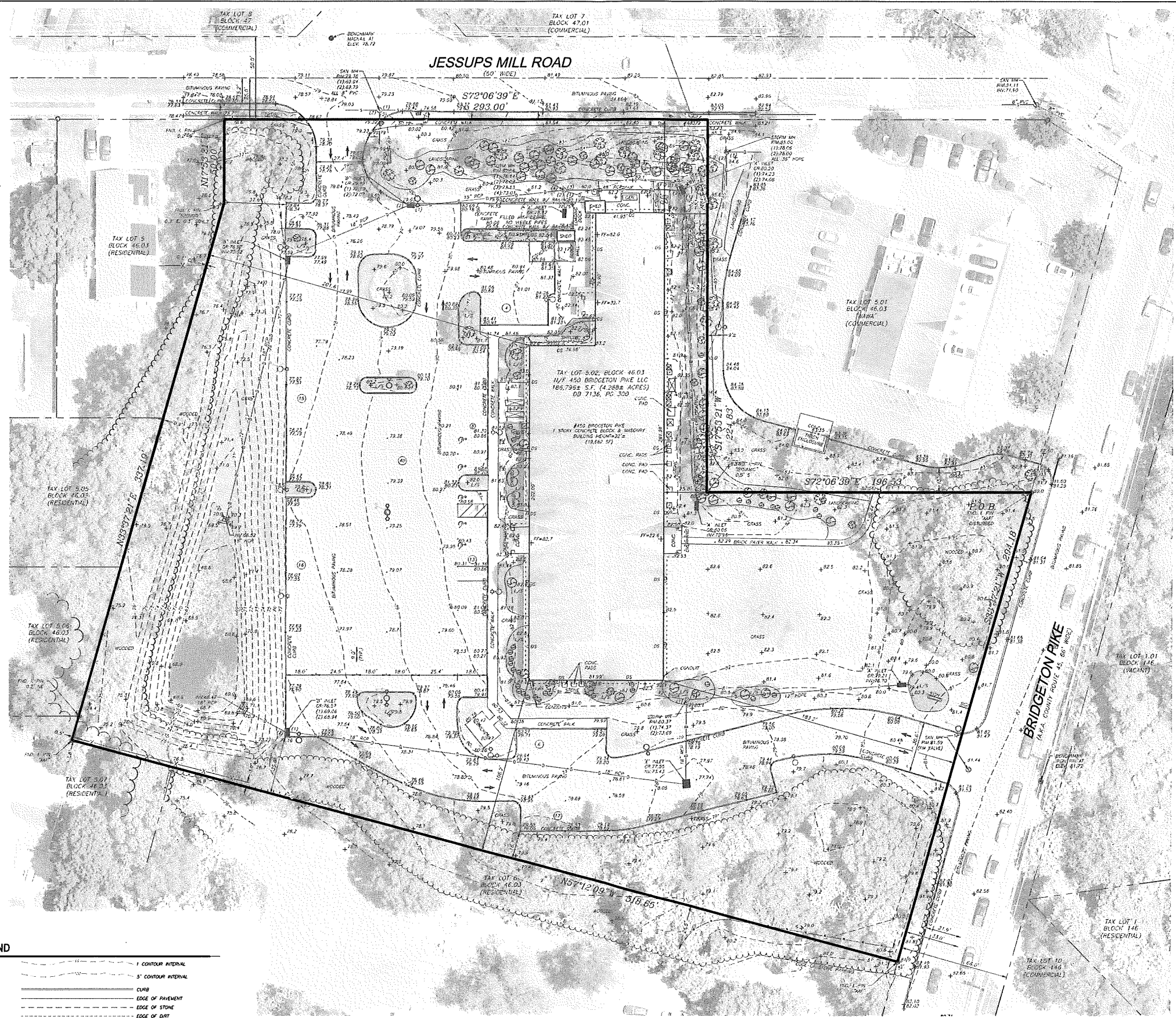
SUN KISS PROPERTIES, LLC  
PLATE 12, BLOCK 46.03, LOT 5.02  
450 BRIDGETON PIKE  
SITUATED IN THE  
TOWNSHIP OF MANTUA  
COUNTY OF GLOUCESTER, STATE OF NEW JERSEY

**SITE CIVIL ENGINEERING**

2205 DELSEA DRIVE, SUITE 7  
FRANKLINVILLE, NEW JERSEY 08322  
(856) 885 - 8679  
FAX (856) 513 - 6594  
N.J. CERTIFICATE OF AUTHORIZATION No. GA28188600

FILE NUMBER	1171 - 2025						
CHECKED BY: WG	10/06/25						
DRAWN BY: MPG	DATE						
REV.	DATE	DESCRIPTION	BY	SCALE: AS SHOWN	PROJECT NO. 1171	DATE: OCTOBER 6, 2025	SHEET 1 OF 10





**LEGEND**

- |  |   |  |
|--|---|--|
| <ul style="list-style-type: none"> <li>⊠ AIR CONDITIONER</li> <li>⊠ BOLLARD</li> <li>⊠ CABLE TV BOX</li> <li>⊠ CLEANOUT</li> <li>⊠ CONCRETE MONUMENT</li> <li>⊠ ELECTRIC BOX</li> <li>⊠ ELECTRIC METER</li> <li>⊠ ELECTRIC TRANSFORMER</li> <li>⊠ FIRE HYDRANT</li> <li>⊠ GAS METER</li> <li>⊠ GAS VALVE</li> <li>⊠ GAS MARKER</li> <li>⊠ HANDICAP PARKING</li> <li>⊠ RILET 'B'</li> <li>⊠ RILET 'E'</li> <li>⊠ MAILBOX</li> <li>⊠ SANITARY MANHOLE</li> <li>⊠ SIGN</li> </ul> | <ul style="list-style-type: none"> <li>• SPOT ELEVATION</li> <li>⊠ SHO BOX</li> <li>⊠ PEDESTRIAN CROSSING SIGNAL</li> <li>⊠ TRAFFIC LIGHT</li> <li>⊠ STORM MANHOLE</li> <li>⊠ TELEPHONE MANHOLE</li> <li>⊠ TELEPHONE BOX</li> <li>⊠ UTILITY MANHOLE</li> <li>⊠ UTILITY POLE</li> <li>⊠ UTILITY POLE W/LIGHT</li> <li>⊠ WATER VALVE</li> <li>⊠ WELL</li> <li>⊠ STUMP</li> <li>⊠ TREE</li> <li>⊠ DRIVE</li> </ul> | <ul style="list-style-type: none"> <li>— 1' CONTOUR INTERVAL</li> <li>— 5' CONTOUR INTERVAL</li> <li>— CURB</li> <li>— EDGE OF PAVEMENT</li> <li>— EDGE OF STONE</li> <li>— EDGE OF DIRT</li> <li>— CHAIN LINK FENCE</li> <li>— WOOD FENCE</li> <li>— WYLL FENCE</li> <li>— OVER-HEAD WIRES</li> <li>— PROPERTY LINE</li> <li>— SANITARY SEWER LINE</li> <li>— STORM LINE</li> <li>⊠ BUILDING ENTRANCE LOCATION</li> </ul> |
|--|---|--|



**NOTES**

1. SURVEY AND TOPOGRAPHY AS TAKEN FROM PLAN ENTITLED 'BOUNDARY & TOPOGRAPHIC SURVEY, TAX LOT 5.02, BLOCK 46.03' PREPARED BY VARGO ASSOCIATES, DATED SEPTEMBER 15, 2016, JOB NUMBER 25153.
2. AERIAL TAKEN FROM HEARMAP DATED JULY 3, 2025.

**AERIAL EXHIBIT**

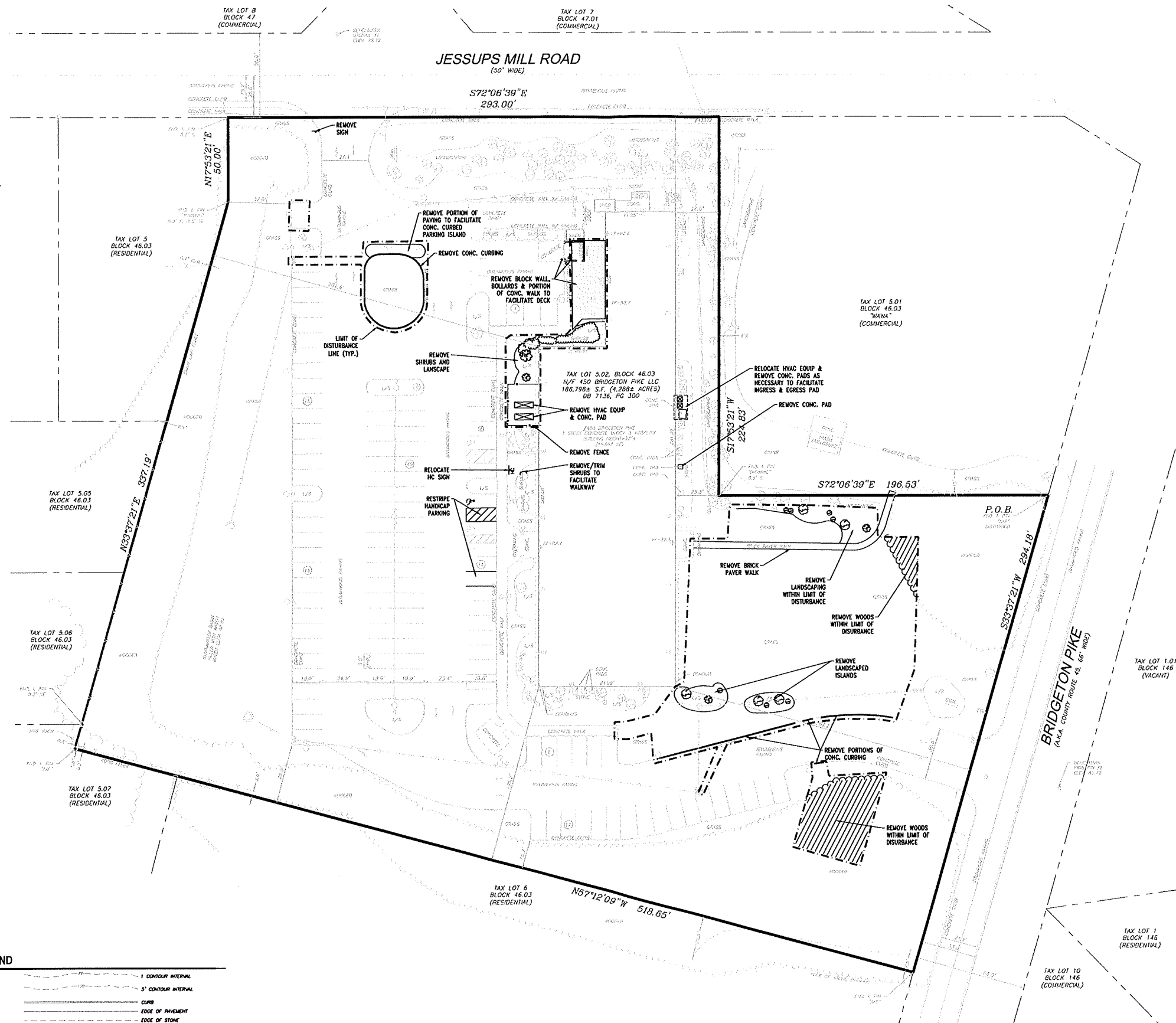
SUN KISS PROPERTIES, LLC  
 PLATE 12, BLOCK 46.03, LOT 5.02  
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FILE NUMBER	1171-2025
CHECKED BY: WG	<i>William P. Gilmore</i> 10/06/25 DATE
DRAWN BY: MPG	WILLIAM P. GILMORE, P.E. NEW JERSEY PROFESSIONAL ENGINEER NO. 2463478100
REV.	DATE
DESCRIPTION	BY
SCALE: 1"=30'	PROJECT NO. 1171
	DATE: OCTOBER 6, 2025
	SHEET 2 OF 10

REV.	DATE	DESCRIPTION	BY



**DEMOLITION NOTES**

1. THE LOCATION AND DEPTHS OF ALL EXISTING UTILITIES SHALL BE VERIFIED PRIOR TO THE COMMENCEMENT OF DEMOLITION. THE CONTRACTOR SHALL NOTIFY THE UNDERGROUND UTILITIES LOCATION SERVICE AT 1-800-272-1000 IN ACCORDANCE WITH APPLICABLE LAWS, RULES AND REGULATIONS.
2. NO DISTURBANCES NOR PLACEMENT OF MATERIALS SHALL BE PERMITTED BEYOND THE PROJECT PROPERTY LINES WITHOUT THE WRITTEN CONSENT OF THE PROPERTY OWNER(S) INVOLVED. ALL DAMAGE CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AND/OR STORAGE OF MATERIALS OR EQUIPMENT SHALL BE PROMPTLY REPAIRED AT NO COST TO THE OWNER.
3. APPLICABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION. SUCH MEASURES SHALL BE LEFT IN PLACE UNTIL THE PROJECT IS COMPLETED OR THE AREA IS STABILIZED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GLOUCESTER COUNTY SOIL CONSERVATION DISTRICT.
4. OVERHEAD WIRES SHALL BE DISCONNECTED AND REMOVED, AND THE SERVICES DISCONTINUED TO THE RESPECTIVE REMOVED POLE. DEMOLITION SHALL BE DISCONNECTED AND REMOVED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND APPLICABLE STATE AND LOCAL REGULATIONS. THIS WORK SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANIES PROVIDING THESE SERVICES.
5. THE CONTRACTOR SHALL CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. THE AREAS OF DEMOLITION SHALL BE PROTECTED TO ENSURE THE SAFE PASSAGE OF PERSONS IN THE RESPECTIVE AREAS.
6. THE USE OF EXPLOSIVES FOR DEMOLITION WILL NOT BE PERMITTED.
7. ALL BUILDINGS, BUILDING REMAINS, TRASH AND/OR DEBRIS FOUND ON THE SITE DURING DEMOLITION OR CONSTRUCTION SHALL BE REMOVED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
8. ALL UNDERGROUND STORAGE TANKS IF ANY AND ANY RESIDUAL PRODUCT REMAINING IN SUCH TANKS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
9. EXISTING POTABLE WATER WELLS AND INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEMS SHALL BE ABANDONED AND/OR REMOVED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
10. THE INSPECTION OF, OR FAILURE TO INSPECT ANY MATERIALS OR WORKMANSHIP BY STATE, COUNTY, OR CITY OFFICIALS SHALL IN NO WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS, AND LAWS.
11. WELL(S) IF ANY ASSOCIATED WITH THE SITE THAT ARE NO LONGER IN USE NEED TO BE PROPERLY CLOSED BY A NJ LICENSED WELL DRILLER PURSUANT TO THE SUBSURFACE AND PERCOLATING WATERS ACT (N.J.S.A. 58-4A-1 ET SEQ.) AND THE WELL CONSTRUCTION, MAINTENANCE AND SEALING RULES (EFFECTIVE 4/2/2007) (N.J.A.C. 7.50).

**LEGEND**

⊠ AIR CONDITIONER	⊠ SPOT ELEVATION	⊠ 1' CONTOUR INTERNAL
⊠ BOLLARD	⊠ SHO BOX	⊠ 5' CONTOUR INTERNAL
⊠ CABLE TV BOX	⊠ PEDESTRIAN CROSSING SIGNAL	⊠ CURB
⊠ CLEANOUT	⊠ TRAFFIC LIGHT	⊠ EDGE OF PAVEMENT
⊠ CONCRETE MONUMENT	⊠ STORM MANHOLE	⊠ EDGE OF STONE
⊠ ELECTRIC BOX	⊠ TELEPHONE MANHOLE	⊠ EDGE OF DIRT
⊠ ELECTRIC METER	⊠ TELEPHONE BOX	⊠ CHAIN LINK FENCE
⊠ ELECTRIC TRANSFORMER	⊠ UTILITY MANHOLE	⊠ WOOD FENCE
⊠ FPC HYDRANT	⊠ UTILITY POLE	⊠ WIRE FENCE
⊠ GAS METER	⊠ UTILITY POLE W/ LIGHT	⊠ OVER-HEAD WIRES
⊠ GAS VALVE	⊠ GUY WIRE	⊠ PROPERTY LINE
⊠ GAS WARDER	⊠ WATER VALVE	⊠ SANITARY SEWER LINE
⊠ HANDICAP PARKING	⊠ WELL	⊠ STORM LINE
⊠ INLET 12"	⊠ WELL	⊠ BUILDING ENTRANCE LOCATION
⊠ INLET 18"	⊠ STUMP	
⊠ MANHOLE	⊠ TREE	
⊠ SANITARY MANHOLE	⊠ SHRUB	



**DEMOLITION PLAN**

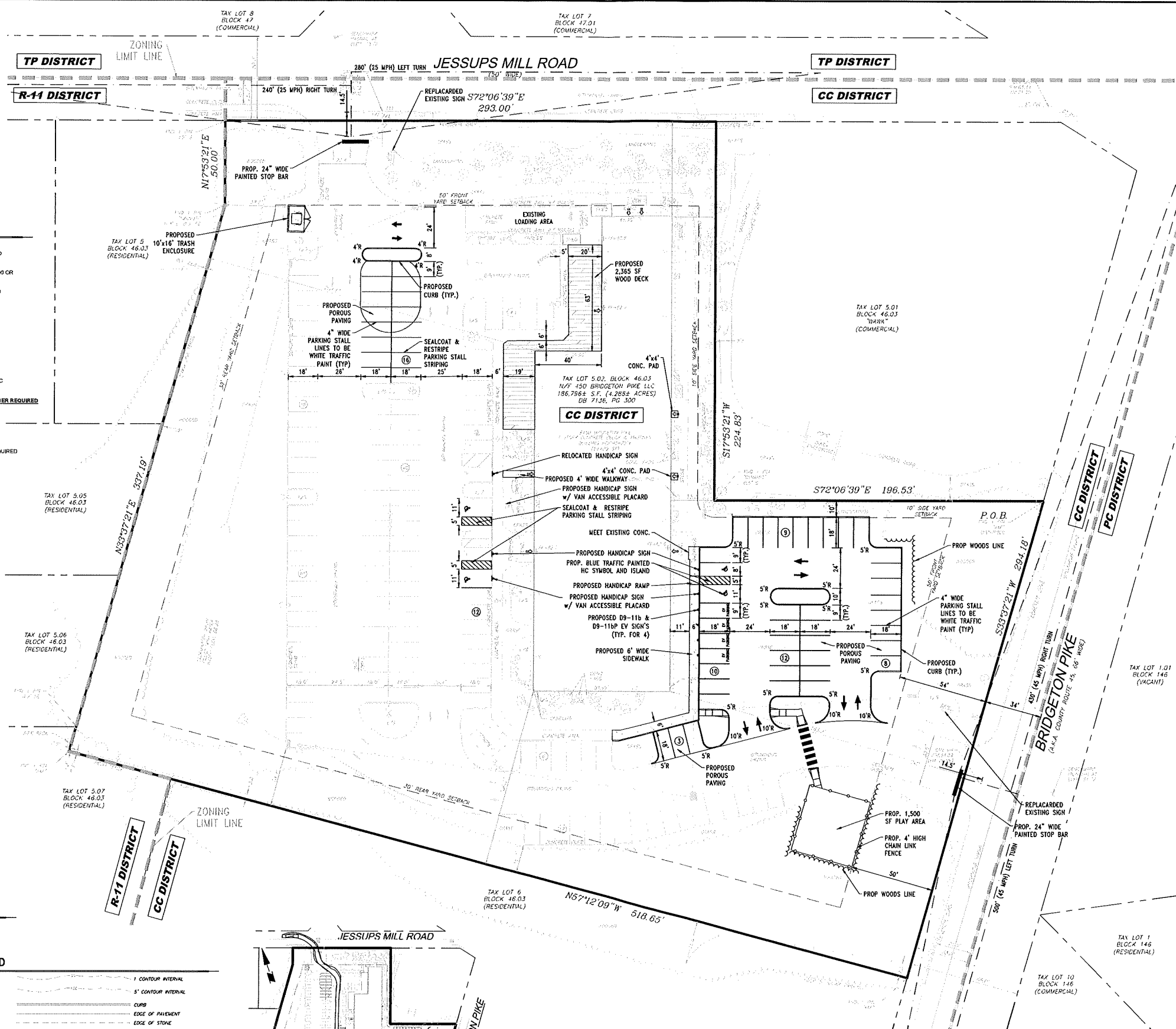
SUN KISS PROPERTIES, LLC  
 PLATE 12, BLOCK 46.03, LOT 5.02  
 450 BRIDGETON PIKE  
 SITUATED IN THE  
 TOWNSHIP OF MANTUA  
 COUNTY OF GLOUCESTER, STATE OF NEW JERSEY

**SITE CIVIL ENGINEERING**

2205 DELSEA DRIVE, SUITE 7  
 FRANKLINVILLE, NEW JERSEY 08322  
 (856) 885-8879  
 FAX (856) 513-6594  
 N.J. CERTIFICATE OF AUTHORIZATION No. GA28188600

FILE NUMBER	1171-2025
CHECKED BY: WG	10/06/25 DATE
DRAWN BY: MPO	WILLIAM P. GILMORE, P.E. NEW JERSEY PROFESSIONAL ENGINEER NO. Z465478100

REV.	DATE	DESCRIPTION	BY	SCALE: 1"=30'	PROJECT NO. 1171	DATE: OCTOBER 6, 2025	SHEET 3 OF 10



**SITE STATISTICS**

<b>OWNER/APPLICANT:</b>	SUN KISS PROPERTIES, LLC 481 ROUTE 42 TURNERSVILLE, NJ 08012			
<b>TRACT IDENTIFICATION:</b>	PLATE 12, BLOCK 46.03, LOT 5.02 BROADWAY BRIDGETON PIKE & JESSUPS MILL ROAD MANTUA TOWNSHIP, NJ			
<b>TRACT AREA:</b>	166,796 SF (4.284 AC)			
<b>EXISTING USE:</b>	OFFICE			
<b>PROPOSED USE:</b>	PERSONAL SERVICES, RESTAURANT, & DAYCARE			
<b>ZONING:</b>	CC - COMMUNITY COMMERCIAL			
<b>BULK STANDARDS FOR COMMUNITY COMMERCIAL DISTRICT (CC):</b>				
<b>ITEM</b>	<b>REQUIRED</b>	<b>EXISTING</b>	<b>PROPOSED</b>	<b>STATUS</b>
MINIMUM LOT SIZE	20,000 SF	166,796 SF (4.284 AC)	166,796 SF (4.284 AC)	CONFORMS
MINIMUM LOT FRONTAGE	150 FT	293.00 FT	293.00 FT	CONFORMS
MINIMUM LOT WIDTH	150 FT	293.00 FT	293.00 FT	CONFORMS
MINIMUM LOT DEPTH	150 FT	387.19 FT	387.19 FT	CONFORMS
MINIMUM SIDE YARD (NON RESIDENTIAL)	10 FT	25.8 FT	25.8 FT	CONFORMS
MINIMUM SIDE YARD (ADJ. RESIDENTIAL USE OR ZONE)	25 FT	106.2 FT	106.2 FT	CONFORMS
MINIMUM FRONT YARD	50 FT	56.3 FT	56.3 FT	CONFORMS
MINIMUM REAR YARD	30 FT	106.2 FT	106.2 FT	CONFORMS
MAXIMUM BUILDING HEIGHT	35 FT	< 35 FT	< 35 FT	CONFORMS
MAXIMUM BUILDING COVERAGE	30 %	11 %	11 %	CONFORMS
MAXIMUM LOT COVERAGE	80 %	44 %	50 %	CONFORMS
PARKING WIDTH	9 FT	9 FT	9 FT	CONFORMS
PARKING LENGTH	18 FT	18 FT	18 FT	CONFORMS
PARKING DRIVE AISLE TWO-WAY	24 FT	24 FT	24 FT	CONFORMS
MINIMUM PARKING SPACES	164	119	176	CONFORMS
<b>LANDSCAPE BUFFERS</b>				
ADJACENT TO STREET LINE	25 FT	-	50 FT	CONFORMS
ADJACENT TO RESIDENTIAL	75 FT	30 FT	30 FT	VARIANCE (EXISTING)
ADJACENT TO NON-RESIDENTIAL LOT	10 FT	10 FT	10 FT	CONFORMS
<b>DAY-CARE CENTER (CONDITIONAL USE)</b>				
TRACT AREA	1 AC	4.284 AC	4.284 AC	CONFORMS
MINIMUM LOT FRONTAGE	150 FT	293.00 FT	293.00 FT	CONFORMS
MIN. STRUCTURE WITHIN PUBLIC STREET OR PROPERTY LINE	50 FT	25.8 FT	25.8 FT	VARIANCE (EXISTING)
MAXIMUM BUILDING COVERAGE	20 %	11 %	11 %	CONFORMS
MAXIMUM IMPERVIOUS COVERAGE	50 %	44 %	50 %	CONFORMS
BERM & LANDSCAPED BUFFER	25 FT	10 FT	10 FT	VARIANCE (EXISTING)
MAXIMUM BUILDING HEIGHT	35 FT	< 35 FT	< 35 FT	CONFORMS
MINIMUM INTERIOR AREA* (PER PERSON)	40 SF	-	35 SF	VARIANCE
MINIMUM OUTDOOR PLAY AREA WITH #1 A FENCE (PER PERSON)	100 SF	-	-	-
LICENSED BY APPROPRIATE STATE AND LOCAL OFFICIALS	YES	-	YES	CONFORMS
CARE PROVIDED PER DAY	< 18 HRS	-	< 18 HRS	CONFORMS
OFF-STREET PARKING AS REQUIRED BY §200-28	YES	-	YES	CONFORMS
<b>*INTERIOR AREA CALCULATION</b>				
CHILDREN	67	-	-	-
ADULTS	33	-	-	-
TOTAL	82	-	-	-
2854 SF / 82 = 35 SF	-	-	-	-
<b>BUILDING SCHEDULE:</b>				
RESTAURANT	7,016 SF (4,696 FOR PATRONS)	-	-	-
PERSONAL SERVICES	9,810 SF	-	-	-
DAYCARE	2,856 SF	-	-	-
TOTAL	19,682 SF	-	-	-

**PARKING & LOADING REQUIREMENTS**

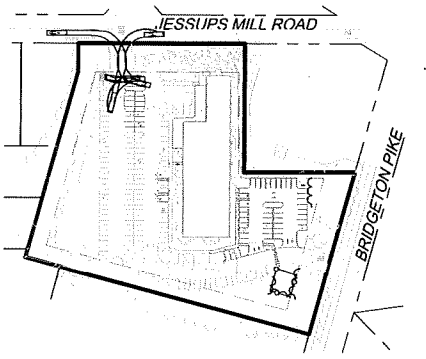
**PARKING SCHEDULE:**  
RESTAURANT: ONE SPACE PER EVERY 50 SQUARE FEET OF FLOOR AREA DEVOTED TO PATRON USE.  
PERSONAL SERVICE ESTABLISHMENT, OTHER THAN IN A SHOPPING CENTER OF 100,000 OR MORE SQUARE FEET: FIVE SPACES FOR EVERY 1,000 SQUARE FEET.  
DAY-CARE CENTER: ONE SPACE PER EVERY EMPLOYEE, PLUS TWO SPACES PER 1,000 SQUARE FEET OF FLOOR AREA.

RESTAURANT	4,696 / 50 =	93.9
PERSONAL SERVICE	9,810 / 1,000 = 9.8 x 5 =	49.0
DAYCARE	2,856 / 1,000 = 2.8 x 2 + 5.6 + 15 (EMPLOYEES) =	20.6
<b>TOTAL</b>		<b>163.5 OR 164 PARKING STALLS</b>

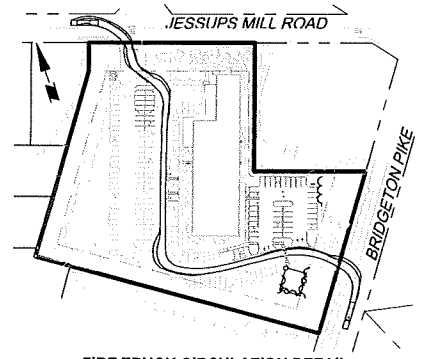
PROPOSED PARKING STALLS: 176 PARKING STALLS (INCLUDING 8 HC STALLS AND 4 EV STALLS)

USE	OFF-STREET LOADING*	PROPOSED	NUMBER REQUIRED
SERVICE ESTABLISHMENT	10,000 SF	9,810 SF	0
RESTAURANT	10,000 SF	7,016 SF	0
SCHOOL	10,000 SF	2,856 SF	0
<b>TOTAL</b>			<b>0 REQUIRED</b>
EXISTING			1

\*SF AT WHICH 1ST LOADING DOCK IS REQUIRED



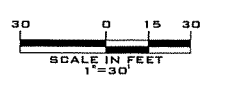
TRASH TRUCK CIRCULATION DETAIL  
SCALE: 1" = 150'



FIRE TRUCK CIRCULATION DETAIL  
SCALE: 1" = 150'

**LEGEND**

AC	AIR CONDITIONER	1	SPOT ELEVATION
B	BOLLARD	2	5' CONTOUR INTERVAL
CB	CABLE TV BOX	3	5' CONTOUR INTERVAL
CL	CLEANOUT	4	PEDESTRIAN CROSSING SIGNAL
CM	CONCRETE MANHOLE	5	TRAFFIC LIGHT
EB	ELECTRIC BOY	6	STORM MANHOLE
EM	ELECTRIC METER	7	TELEPHONE MANHOLE
ET	ELECTRIC TRANSFORMER	8	TELEPHONE BOX
FD	FIRE HYDRANT	9	UTILITY MANHOLE
GM	GAS METER	10	UTILITY POLE
GV	GAS VALVE	11	UTILITY POLE W/ LIGHT
GM	GAS MARKER	12	CUT WIRE
HP	HANDICAP PARKING	13	WATER VALVE
IB	INLET "B"	14	WELL
IE	INLET "E"	15	STUMP
MB	MAILBOX	16	TREE
SM	SANITARY MANHOLE	17	SNOW
1	1' CONTOUR INTERVAL	18	PROPERTY LINE
2	5' CONTOUR INTERVAL	19	SANITARY SEWER LINE
3	PEDESTRIAN CROSSING SIGNAL	20	STORM LINE
4	TRAFFIC LIGHT	21	BUILDING ENTRANCE LOCATION
5	STORM MANHOLE		
6	TELEPHONE MANHOLE		
7	TELEPHONE BOX		
8	UTILITY MANHOLE		
9	UTILITY POLE		
10	UTILITY POLE W/ LIGHT		
11	CUT WIRE		
12	WATER VALVE		
13	WELL		
14	STUMP		
15	TREE		
16	SNOW		



REV.	DATE	DESCRIPTION	BY

FILE NUMBER	1171 - 2025
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SCALE:	1" = 30'
PROJECT NO.	1171
DATE:	OCTOBER 6, 2025
SHEET	4 OF 10

**SITE PLAN**

SUN KISS PROPERTIES, LLC  
PLATE 12, BLOCK 46.03, LOT 5.02  
450 BRIDGETON PIKE  
SITING IN THE  
TOWNSHIP OF MANTUA  
COUNTY OF GLOUCESTER, STATE OF NEW JERSEY

**SITE CIVIL ENGINEERING**

2285 DELSEA DRIVE, SUITE 7  
FRANKLINVILLE, NEW JERSEY 08322  
(856) 885 - 8679  
FAX (856) 513 - 6594  
N.J. CERTIFICATE OF AUTHORIZATION No. GA28188600

*William P. Gilmore*  
**WILLIAM P. GILMORE, P.E.**  
NEW JERSEY PROFESSIONAL ENGINEER NO. 2460478100

**GENERAL NOTES**

1. ALL DRAWINGS IN THIS PLAN SET ARE MADE PART OF THIS RECORD PLAN AND ALL INFORMATION SHOWN HEREON SHALL BE CONSIDERED APPLICABLE FOR THE COMPLETION OF THIS PROJECT. INDIVIDUAL PLANS SHALL NOT BE USED SINCE THEY CONSTITUTE ONLY A PART OF THE COMPLETE SET OF PLANS FOR THIS PROJECT.
2. IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION. CALL 1-800-222-3876 TO OBTAIN MARKETS.
3. IT IS IMPERATIVE THAT THE PROPOSED UNDERGROUND UTILITY CONNECTIONS BE MADE STARTING AT THE MOST DOWNSTREAM END AND THAT THE LOCATION AND DEPTH OF THE EXISTING UNDERGROUND UTILITIES BE VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL ENSURE THE DOWNSTREAM UTILITY CONNECTIONS CAN BE MADE AND CONSTRUCTED PRIOR TO INSTALLATION OF ANY OTHER PORTIONS OF THE SYSTEM. TEST PITS SHALL BE DUG AT THE DISCRETION OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITY CONNECTIONS AND CROSSINGS. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT DOWNSTREAM UTILITY CONNECTIONS CAN BE MADE AS PROPOSED AND TO THE SATISFACTION OF THE ENGINEER.
4. LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM EXISTING RECORDS AND/OR ABOVE-GROUND OBSERVATIONS AT THIS SITE. COMPLETENESS OR ACCURACY OF LOCATIONS AND DEPTH CANNOT BE GUARANTEED. ALL CONTRACTORS AND OTHER PERSONS UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED THAT EACH INDIVIDUAL USING THIS PLAN MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE STARTING WORK.
5. THE EROSION AND SEDIMENT CONTROL PLAN IS AN INTEGRAL PART OF THE STORM WATER MANAGEMENT SYSTEM DURING CONSTRUCTION OF CERTAIN STAGES. THE EROSION AND SEDIMENT CONTROL PLAN SHALL BE REFINISHED AND USED IN CONJUNCTION WITH THIS DRAWING TO COMPLETE CONSTRUCTION PHASING.
6. THE ROUTING OF ALL UTILITIES IS SUBJECT TO ADJUSTMENT TO MEET UTILITY COMPANY REQUIREMENTS AND SPECIFICATIONS OF BUILDING MECHANICAL DESIGN. WHEN BUILDING MECHANICAL DRAWINGS ARE COMPLETE AND UTILITY REQUIREMENTS ARE FINALIZED, NECESSARY ADJUSTMENTS SHALL BE MADE AS PART OF THE PREPARATION OF CONSTRUCTION DOCUMENTS.
7. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS TO REQUEST EXACT FIELD LOCATION OF UTILITIES BEFORE ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONVEINUS UTILITY LOCATIONS, DEPTHS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THESE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
8. THE CONTRACTOR SHALL REFERENCE ALL WASHINGTON TOWNSHIP MUA SPECIFICATIONS FOR UTILITY MATERIALS AND CONSTRUCTION.
9. THE CONTRACTOR SHALL ADJUST ALL EXISTING AND PROPOSED UTILITY FRAMES, COVERS, MANHOLES, VALVE BOXES, ETC. TO BE FLUSH WITH THE PROPOSED SURFACE ELEVATIONS.
10. OBSOLETE ON-SITE UTILITY SERVICE CONNECTIONS MUST BE REMOVED. REMOVAL OF SERVICE CONNECTIONS SHALL BE COORDINATED WITH THE UTILITY COMPANY AND VERIFIED BY THE CONTRACTOR THAT THEY ARE NO LONGER ACTIVE.

**GRADING NOTES**

1. ALL DRAWINGS IN THIS PLAN SET ARE MADE PART OF THIS RECORD PLAN AND ALL INFORMATION SHOWN HEREON SHALL BE CONSIDERED APPLICABLE FOR THE COMPLETION OF THIS PROJECT. INDIVIDUAL PLANS SHALL NOT BE USED SINCE THEY CONSTITUTE ONLY A PART OF THE COMPLETE SET OF PLANS FOR THIS PROJECT.
2. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
3. THE SITE IS TO BE GRADED SMOOTHLY AND EVENLY IN ACCORDANCE WITH THE PROPOSED CONTOURS AND SPOT ELEVATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING A POSITIVE DRAINAGE FLOW TO ALL CATCH BASINS WITHOUT CREATING FLAT SPOTS THAT WILL RESULT IN STANDING WATER (PUDDLING OR PONDING).
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS INCLUDING BUT NOT LIMITED TO BUILDING, SIDEWALK/STREET CLOSING AND DEMOLITION.
5. TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED SO AS TO PROVIDE AT LEAST 6 IN (6) HIGHER OF COVER TO ALL LANDSCAPE AREAS OF THE SITE AND SHALL BE STABILIZED BY SEEDING OR PLANTING.
6. THE CONTRACTOR SHALL ADJUST ALL EXISTING AND PROPOSED UTILITY FRAMES, COVERS, MANHOLES, VALVE BOXES, ETC. TO BE FLUSH WITH THE PROPOSED SURFACE ELEVATIONS.
7. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (LATEST EDITION) FROM THE U.S. DEPARTMENT OF TRANSPORTATION.
8. SIDEWALKS SHALL NOT BE LESS THAN FOUR (4) FOOT IN WIDTH. SIDEWALKS SHALL BE CONSTRUCTED WITH FOUR-INCH THICK CONCRETE, 4500 PSI (MINIMUM).
9. A MINIMUM SLOPE OF 2.0% SHALL BE MAINTAINED IN ALL GRASS AREAS AND A MINIMUM SLOPE OF 0.5% SHALL BE PROVIDED ON ALL PAVED AREAS.
10. ALL PAVEMENT SUBGRADE PREPARATION MUST BE APPROVED BY THE TOWNSHIP ENGINEER.
11. ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI.
12. ALL SOIL BROUGHT ONTO SITE WILL BE CERTIFIED CLEAN SOIL.

**GRADING PLAN**

SUN KISS PROPERTIES, LLC  
 PLATE 12, BLOCK 46.03, LOT 5.02  
 450 BRIDGETON PIKE  
 SITUATED IN THE  
 TOWNSHIP OF MANTUA  
 COUNTY OF GLOUCESTER, STATE OF NEW JERSEY

**SITE CIVIL ENGINEERING**

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SCALE:	1"=30'	PROJECT NO.:	1171
DATE:		DATE:	OCTOBER 6, 2025
DESCRIPTION:		SHEET NO.:	5 OF 10



PROPOSED POROUS PAVING A  
 TOP OF STONE = 78.00  
 BOTTOM OF STONE = 73.00

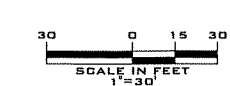
STORM	CURRENT	FUTURE
WD WSE	74.30	74.30
2-1R WSE	74.72	74.91
10-1R WSE	75.47	75.79
100-1R WSE	76.77	77.94

PROPOSED POROUS PAVING B  
 TOP OF STONE = 77.50  
 BOTTOM OF STONE = 76.00

STORM	CURRENT	FUTURE
WD WSE	76.13	76.13
2-1R WSE	76.23	76.27
10-1R WSE	76.42	76.49
100-1R WSE	76.69	76.89

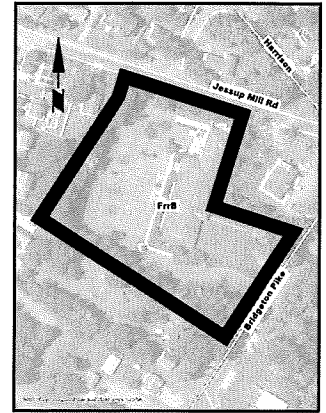
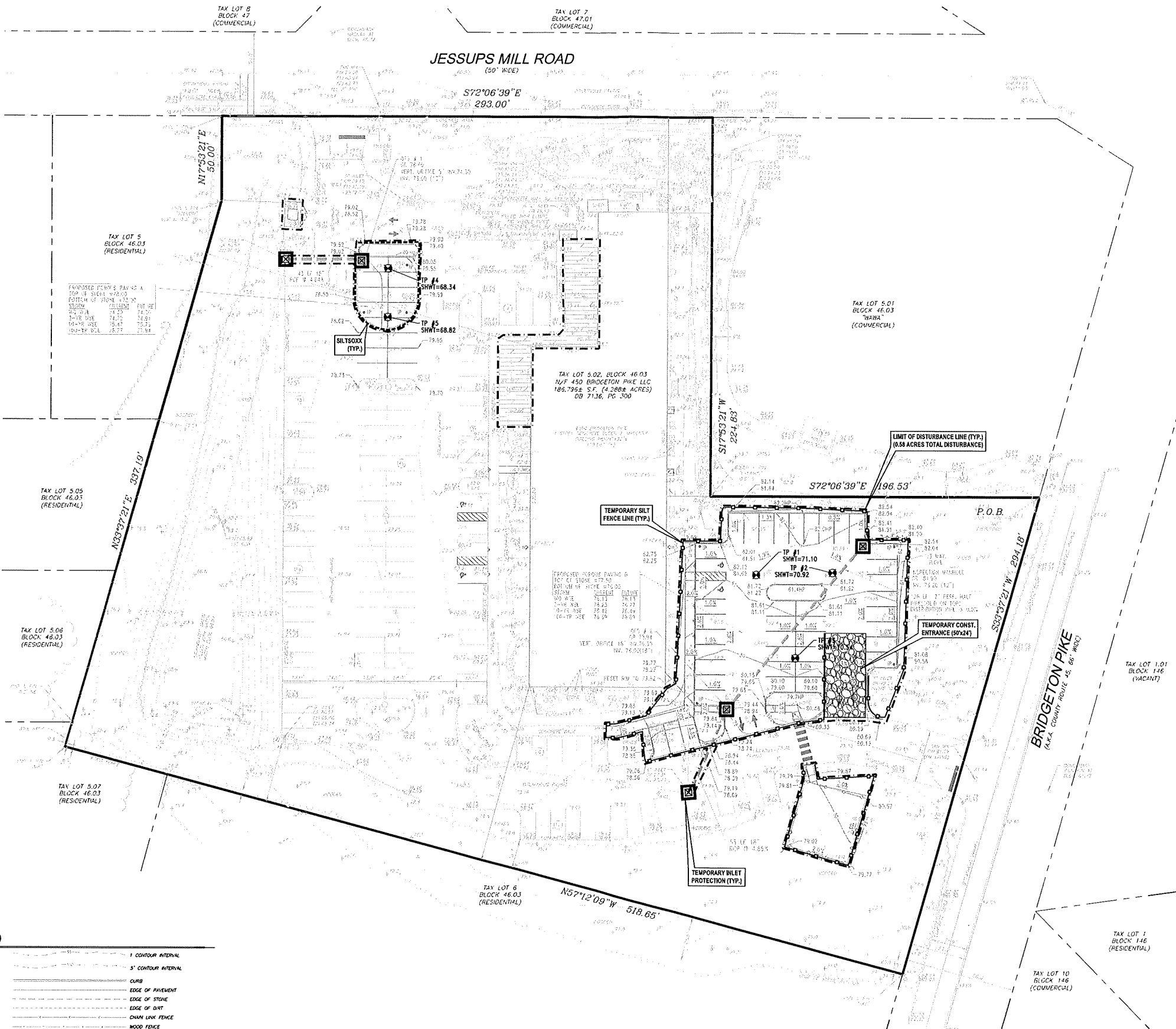
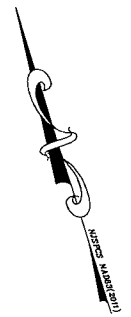
**LEGEND**

AR CONDITIONER	SPOT ELEVATION	1' CONTOUR INTERVAL
BOLLARD	SHO BOX	5' CONTOUR INTERVAL
CABLE TV BOX	PEDESTRIAN CROSSING SIGNAL	CURB
CLEANOUT	TRAFFIC LIGHT	EDGE OF PAVEMENT
CONCRETE MONUMENT	STORM MANHOLE	EDGE OF STONE
ELECTRIC BOX	TELEPHONE MANHOLE	EDGE OF DIRT
ELECTRIC METER	TELEPHONE BOX	CHAIN LINK FENCE
ELECTRIC TRANSFORMER	UTILITY MANHOLE	WOOD FENCE
FIRE HYDRANT	UTILITY POLE	VINYL FENCE
GAS METER	UTILITY POLE W/LIGHT	OVER-HEAD WIRES
GAS VALVE	DAY WIRE	PROPERTY LINE
GAS MARKER	WATER VALVE	SAVATRY SERRER LINE
HANDICAP PARKING	WELL	STORM LINE
PIET 1'	PROPOSED SWALE	BUILDING ENTRANCE LOCATION
PIET 1'	PROPOSED CONTOUR	STAMP
WALDOY	PROPOSED SPOT ELEVATION	TREE
SANITARY MANHOLE	PROPOSED FLOW ARROW	SHRUB
SOV		









SOIL MAP  
SCALE 1"=200'

SOIL TYPE LEGEND

SOIL SYMBOL	SOIL NAME	SLOPE	CLASSIFICATION
FrB	FRENCH-URBAN LAND COMPLEX	0 TO 5%	B

LEGEND

<ul style="list-style-type: none"> <li>AC AIR CONDITIONER</li> <li>BOLLARD</li> <li>CABLE TV BOX</li> <li>CLEANOUT</li> <li>CONCRETE MONUMENT</li> <li>ELECTRIC BOX</li> <li>ELECTRIC METER</li> <li>ELECTRIC TRANSFORMER</li> <li>FIRE HYDRANT</li> <li>GAS METER</li> <li>GAS VALVE</li> <li>GAS VALVE</li> <li>GAS VALVE</li> <li>HANDICAP PARKING</li> <li>INLET 'D'</li> <li>INLET 'E'</li> <li>MAILBOX</li> <li>SANITARY MANHOLE</li> <li>SOV</li> </ul>	<ul style="list-style-type: none"> <li>SPOT ELEVATION</li> <li>SHO BOX</li> <li>PEDESTRIAN CROSSING SIGNAL</li> <li>TRAFFIC LIGHT</li> <li>STORM MANHOLE</li> <li>TELEPHONE MANHOLE</li> <li>TELEPHONE BOX</li> <li>DOWN LINK FENCE</li> <li>UTILITY MANHOLE</li> <li>UTILITY POLE</li> <li>UTILITY POLE W/OUT</li> <li>ONLY WIRE</li> <li>WATER VALVE</li> <li>WELL</li> <li>STUMP</li> <li>TREE</li> <li>SHRUB</li> </ul>	<ul style="list-style-type: none"> <li>1' CONTOUR INTERVAL</li> <li>5' CONTOUR INTERVAL</li> <li>CURB</li> <li>EDGE OF PAVEMENT</li> <li>EDGE OF STONE</li> <li>EDGE OF DIRT</li> <li>CHAIN LINK FENCE</li> <li>WOOD FENCE</li> <li>WIRE FENCE</li> <li>OVER-HEAD WIRES</li> <li>PROPERTY LINE</li> <li>SANITARY SEWER LINE</li> <li>STORM LINE</li> <li>BUILDING ENTRANCE LOCATION</li> <li>PROPOSED DRIVE</li> <li>PROPOSED DRIVE ELEVATION</li> <li>PROPOSED DRIVE APPROX</li> <li>TEMPORARY SILT FENCE</li> <li>LIMIT OF DISTURBANCE LINE</li> <li>TEMPORARY SILTBOX</li> </ul>
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REFER TO SHEET 9 FOR EROSION & SEDIMENT CONTROL NOTES AND DETAILS

SOIL EROSION & SEDIMENT CONTROL PLAN

SUN KISS PROPERTIES, LLC  
 PLATE 12, BLOCK 46.03, LOT 5.02  
 450 BRIDGETON PIKE  
 SITUATED IN THE  
 TOWNSHIP OF MANTUA  
 COUNTY OF GLOUCESTER, STATE OF NEW JERSEY

SITE CIVIL ENGINEERING

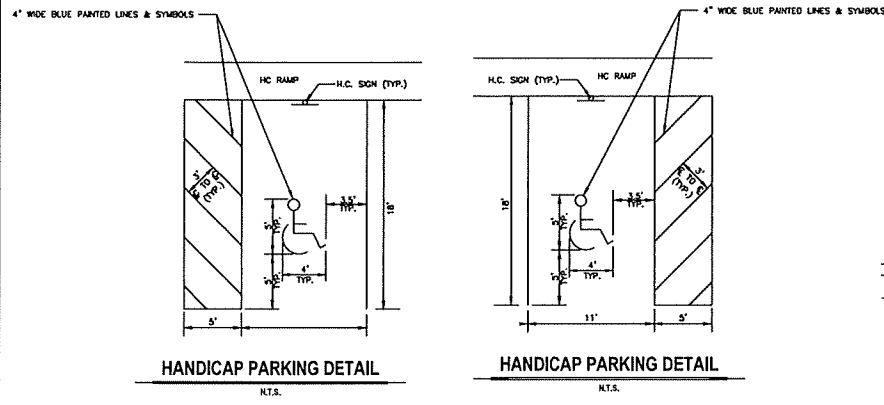
2205 DELSEA DRIVE, SUITE 7  
 FRANKLINVILLE, NEW JERSEY 08322  
 (856) 845 - 8579  
 FAX (856) 513 - 6594  
 N.J. CERTIFICATE OF AUTHORIZATION No. GA28188600

FILE NUMBER 1171 - 2025	10/06/25 DATE
CHECKED BY: WG	WILLIAM P. GILMORE, P.E. NEW JERSEY PROFESSIONAL ENGINEER NO. 24624783100
DRAWN BY: MPG	10/06/25 DATE
SCALE: 1"=30'	PROJECT NO. 1171
DATE: OCTOBER 6, 2025	SHEET # OF 10

REV.	DATE	DESCRIPTION	BY

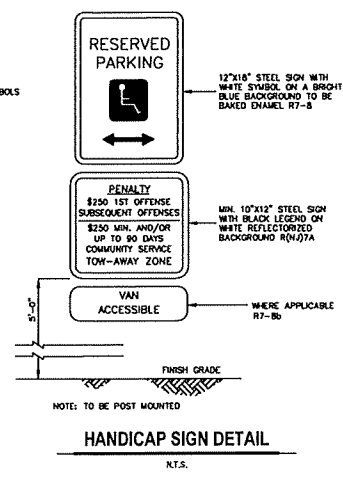




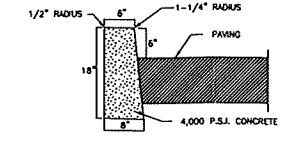


HANDICAP PARKING DETAIL  
N.T.S.

HANDICAP PARKING DETAIL  
N.T.S.

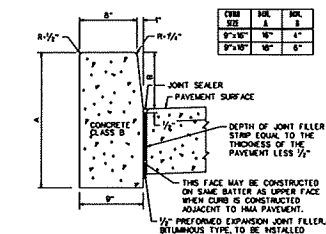


HANDICAP SIGN DETAIL  
N.T.S.

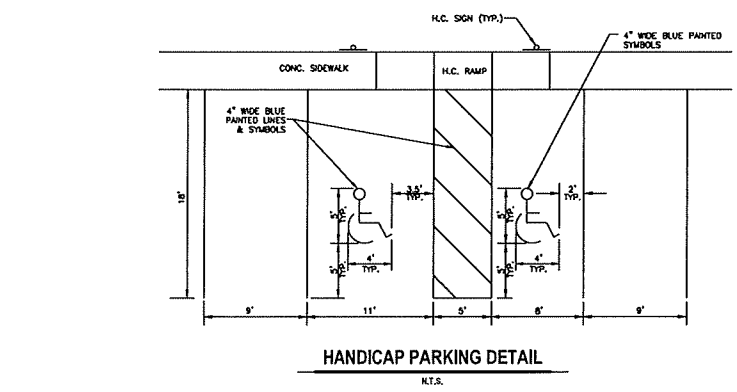


1. WHEN NEW CURB IS INSTALLED ALONG EXISTING PAVED AREA, THE EXISTING PAVEMENT SHALL BE CUT IN A STRAIGHT LINE WITH A SHOUP TOOL AND THE NEW PAVEMENT SHALL BE TACKED AND BUTTED TO EXISTING PAVEMENT.  
2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 2'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF AASHTO SPEC. NO. M-213, RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.

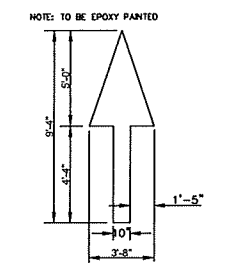
CONCRETE CURB DETAIL  
N.T.S.



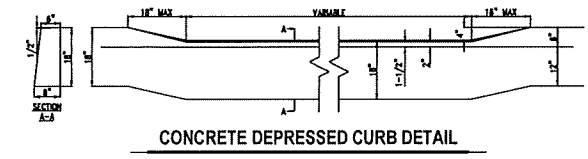
CONCRETE VERTICAL CURB DETAIL  
N.T.S.



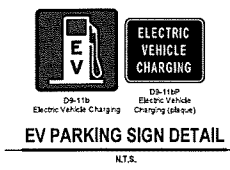
HANDICAP PARKING DETAIL  
N.T.S.



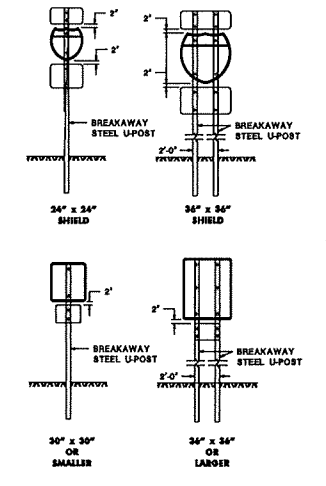
DIRECTIONAL ARROW  
N.T.S.



CONCRETE DEPRESSED CURB DETAIL  
N.T.S.

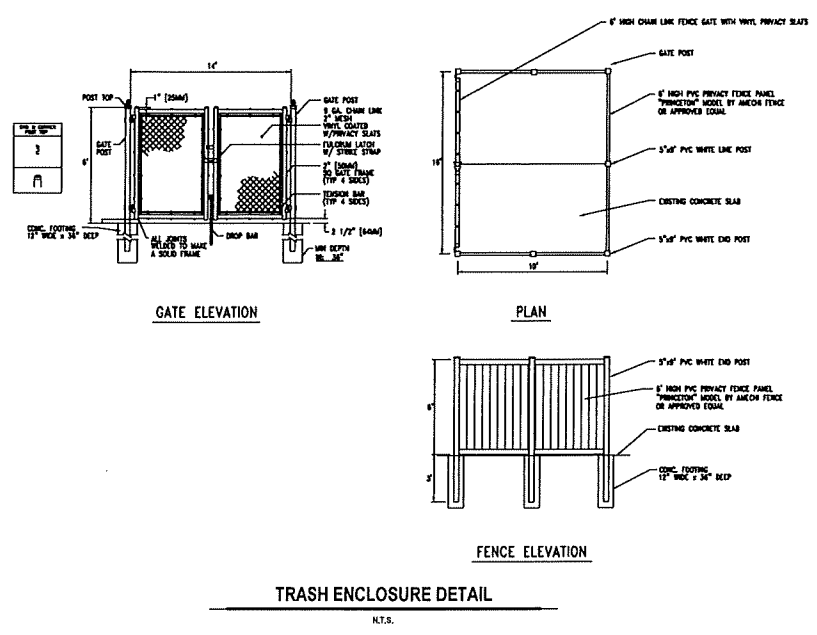


EV PARKING SIGN DETAIL  
N.T.S.

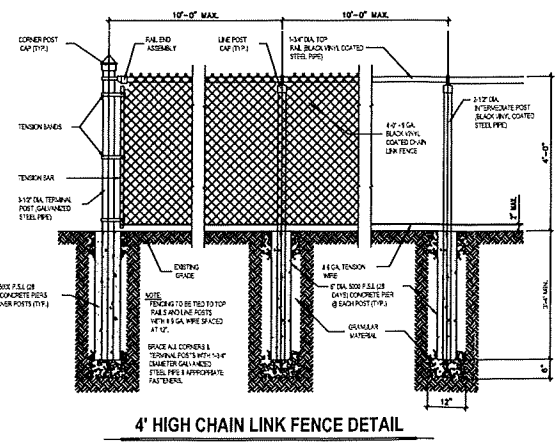


- GENERAL NOTES:**
- ALL POSTS TO BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND AS INDICATED BELOW.
  - ALL SMALL SIGN SUPPORTS TO BE OF THE BREAKAWAY TYPE WITH EXCEPTION OF THOSE INSTALLED BEHIND GUIDE RAIL OR OTHER ROADSIDE BARRIER.
  - ALL STEEL POSTS AND BRACKETS TO BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING TO BE ACCORDING TO ASTM A585.
  - ALL STEEL U-POST SIGN SUPPORTS MUST BE INSTALLED FACING THE PREDOMINANT TRAFFIC FLOW. USE A MOUNTING BRACKET ON SIDE MOUNTED SIGNS SUCH AS "ONE WAY" SIGNS INSTALLED IN MEDIANS.
  - SIGN PANEL SIZES ARE TO DETERMINE POST TYPE AND NUMBER AS SHOWN ON THIS DETAIL.
  - POSTS ARE NOT TO PROTRUDE MORE THAN 1/4" BEYOND THE NUT WHEN TIGHT, BUT ARE TO ENCASE ALL THREADS IN THE NUT.
  - WHEN SIGNS ARE INSTALLED ON SLOPES 5% OR FLATTER, THE MINIMUM VERTICAL CLEARANCE REQUIREMENTS FOR SIGNS ARE:  
FOR SINGLE POST INSTALLATIONS - THE MINIMUM DISTANCE BETWEEN THE EDGE OF THE PAVEMENT AND THE BOTTOM OF ANY PANEL MUST BE 7 FEET, AND THE MINIMUM DISTANCE FROM EDGE OF PAVEMENT TO THE TOP OF ANY SIGN PANEL MUST BE 8 FEET.  
FOR MULTIPOST INSTALLATIONS - THE MINIMUM DISTANCE BETWEEN THE EDGE OF PAVEMENT AND THE BOTTOM OF A MAIN SIGN PANEL MUST BE 7 FEET.  
SECONDARY SIGN PANELS (LAND SERVICE HIGHWAYS) - THE MINIMUM DISTANCE BETWEEN THE EDGE OF PAVEMENT AND THE BOTTOM OF A SECONDARY SIGN PANEL IS 8 FEET.  
SECONDARY SIGN PANELS (INTERSTATE AND FREEWAYS) - THE BOTTOM OF THE MAIN SIGN TO BE A MINIMUM OF 8 FEET AND THE SECONDARY SIGN PANEL A MINIMUM OF 5 FEET ABOVE THE EDGE OF PAVEMENT.  
WHERE GRADING OF SLOPE OR FLATTER CANNOT BE OBTAINED, OR WHERE CURB OR BERM IS GREATER THAN 4 INCHES, THE MINIMUM VERTICAL CLEARANCE WILL BE MEASURED FROM THE GROUND LINE TO THE BOTTOM OF THE SIGN.
  - THE HORIZONTAL OFFSET FROM EDGE OF PAVEMENT TO EDGE OF SIGN IS DERIVED FROM SECTION 3A.04 OF THE MUTCD AS FOLLOWS:  
FOR URBAN INSTALLATIONS - IN AREAS WHERE LATERAL OFFSETS ARE LIMITED, A MINIMUM LATERAL OFFSET OF 2 FEET IS DESIRABLE. A MINIMUM OFFSET OF 1 FOOT FROM THE FACE OF THE CURB MAY BE USED IN AREAS WHERE THE SIDEWALK WIDTH IS LIMITED OR WHERE EXISTING POLES ARE CLOSE TO THE CURB.  
FOR RURAL INSTALLATIONS - 4 FEET MINIMUM DESIRABLE FROM EDGE OF SHOULDER, BUT 8 FEET MINIMUM DESIRABLE FROM EDGE OF TRAFFIC OR AUXILIARY LANE.  
FOR INTERSTATE AND FREEWAY INSTALLATIONS - 8 FEET MINIMUM DESIRABLE FROM EDGE OF SHOULDER, BUT NOT LESS THAN 12 FEET FROM THE EDGE OF TRAFFIC OR AUXILIARY LANE.  
FOR RAMP INSTALLATIONS - 8 FEET MINIMUM FROM EDGE OF ROAD.  
WHERE BEHIND GUIDE RAIL - 4 FEET MINIMUM FROM BACK OF BEAM GUIDE RAIL ELEMENT TO SIGN POST.  
DO NOT INSTALL PERMANENT SIGN SUPPORTS ON SLOPES GREATER THAN 5% EXCEPT WHERE GRADING OF SLOPE CANNOT BE OBTAINED. THE SIGN SUPPORTS WILL BE BEHIND A TRAFFIC BARRIER. THE SLOPE IS TO EXTEND A MINIMUM OF 5 FEET BEYOND THE OUTSIDE EDGE OF SIGN (SEE GRADING DETAIL FOR SLOPE TREATMENTS).  
EXTRUDED ALUMINUM SIGN PANELS ARE NOT PERMITTED FOR USE WITH STEEL U-POST SIGN SUPPORTS.  
DO NOT PLACE STEEL U-POST SIGN SUPPORTS IN FRONT OF GUIDE RAIL AND THE POSTS MUST NOT STRADDLE GUIDE RAIL.  
DO NOT EXCEED THE HEIGHT OF A SIGN POST. A MAXIMUM OF ONE SPICE MAY BE MADE AND MUST BE A MINIMUM OF 9 FEET FROM THE GROUNDLINE TO CENTER LINE OF SPICE.

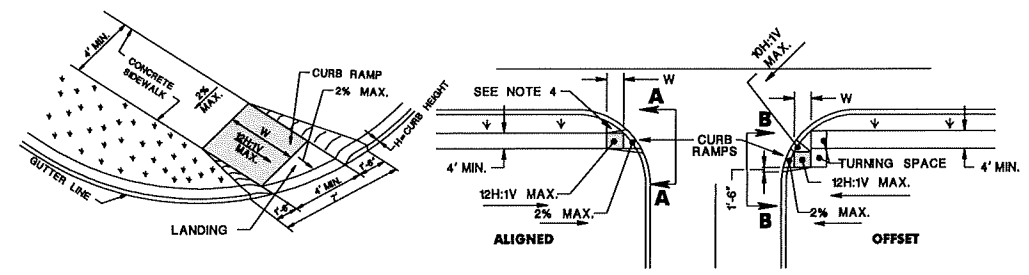
ALL TRAFFIC CONTROL SIGNS WILL HAVE RETROREFLECTIVE SHEETING  
TRAFFIC SIGN DETAILS  
N.T.S.



TRASH ENCLOSURE DETAIL  
N.T.S.



4' HIGH CHAIN LINK FENCE DETAIL  
N.T.S.



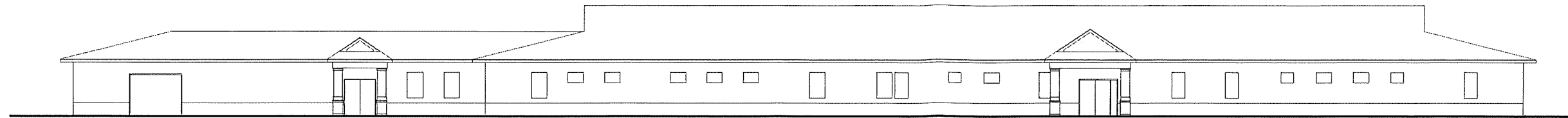
CURB RAMP TYPE 5 DETAIL  
N.T.S.

CONSTRUCTION DETAIL SHEET

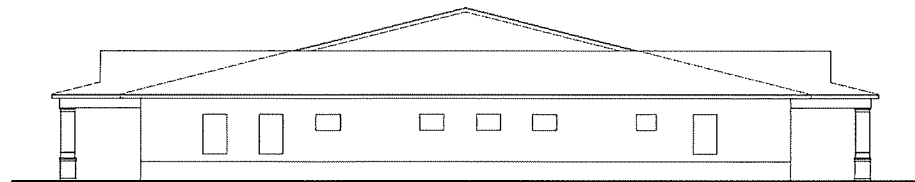
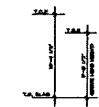
SUN KISS PROPERTIES, LLC  
PLATE 12, BLOCK 46.03, LOT 5.02  
450 BRIDGETON PIKE  
TOWNSHIP OF MANTUA  
COUNTY OF GLOUCESTER, STATE OF NEW JERSEY  
**SITE CIVIL ENGINEERING**  
2285 DELSEA DRIVE, SUITE 7  
FRANKLINVILLE, NEW JERSEY 08322  
(856) 885 - 8679  
FAX (856) 513 - 6594  
N.J. CERTIFICATE OF AUTHORIZATION No. GA28188600

FILE NUMBER	1171 - 2025						
CHECKED BY: WG	12/06/25 DATE						
DRAWN BY: MPO	WILLIAM P. GILMORE, P.E. NEW JERSEY PROFESSIONAL ENGINEER NO. 2465478100						
REV.	DATE	DESCRIPTION	BY	SCALE: AS SHOWN	PROJECT NO. 1171	DATE: OCTOBER 6, 2025	SHEET 10 OF 10

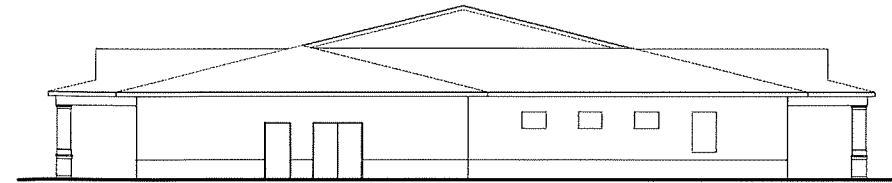
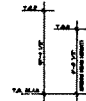




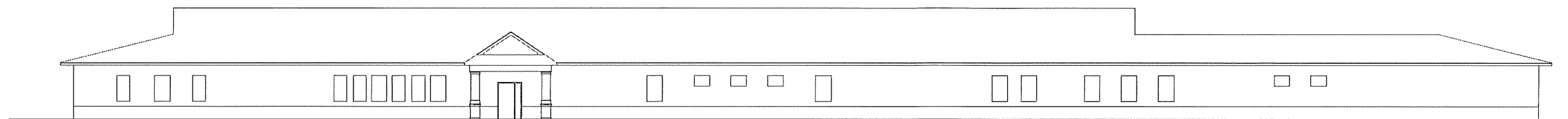
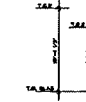
EXIST. FRONT ELEVATION  
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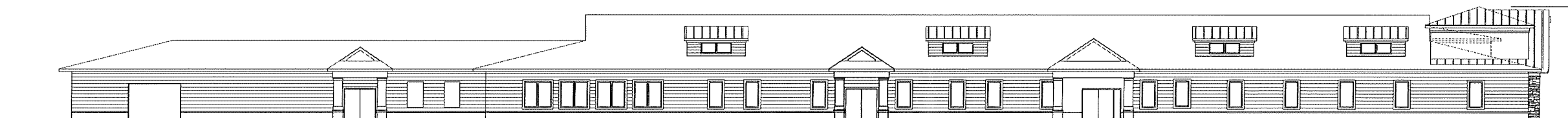
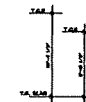
EXIST. RIGHT ELEVATION  
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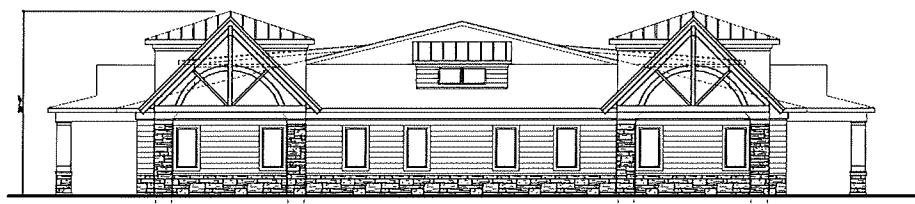
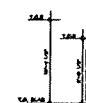
EXIST. LEFT ELEVATION  
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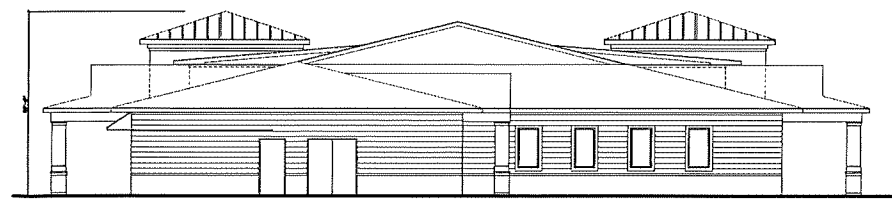
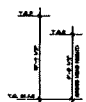
EXIST. REAR ELEVATION



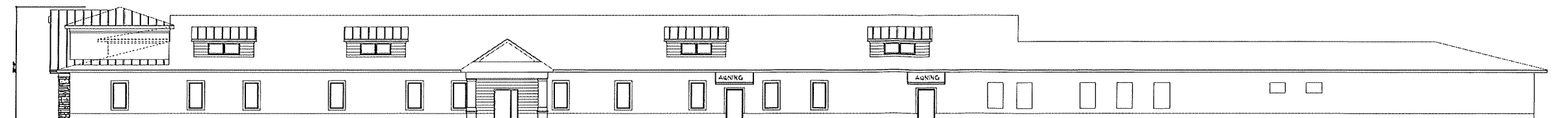
ALTERED FRONT ELEVATION  
SCALE: 3/32"=1'-0"



ALTERED RIGHT ELEVATION  
SCALE: 3/32"=1'-0"



ALTERED LEFT ELEVATION  
SCALE: 3/32"=1'-0"



ALTERED REAR ELEVATION  
SCALE: 3/32"=1'-0"



SHT-REV  
DATE

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JACK S. SMITH RA  
NJ LICENSE A11765 DE LICENSE 554800248  
PA LICENSE RA09028 MD LICENSE 15334  
VA LICENSE AB015792  
1344 CHIEFS LANDING ROAD  
LAUREL SPRINGS, NJ 08021  
477-1111  
856-237-1626 FAX 856-237-7133  
email: jack@bshsm.com  
RESIDENTIAL • COMMERCIAL

**BISHOP & SMITH**  
REGISTERED ARCHITECTS

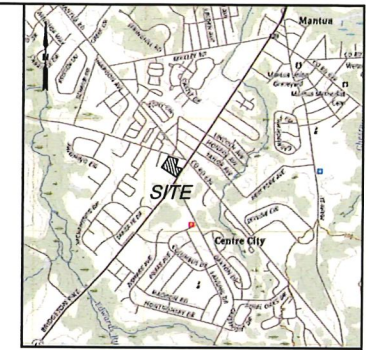
SIGNATURE

SCALE AS NOTED DATE 9-22-25 DRAWN BY DJS MJS

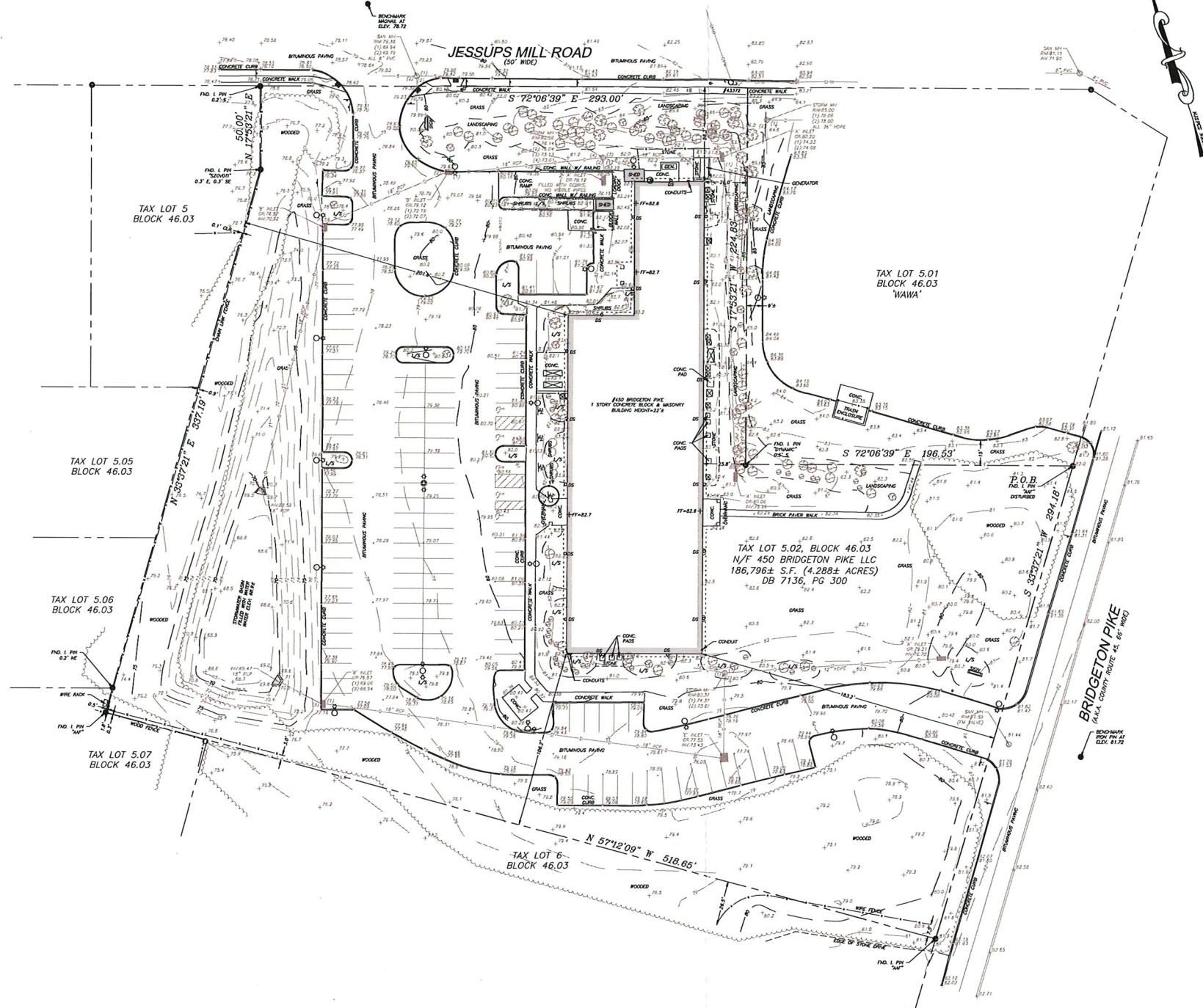
PROJECT COMMERCIAL PLAN  
LOCATION  
OWNER TONY FIORENTINO

CAD FILE # 24-391

DRAWING NO. PRE-2



VICINITY MAP  
1" = 2000'



- NOTES:**
- PROPERTY KNOWN AS TAX LOT 5.02, BLOCK 46.03 AS SHOWN ON SHEET 12 OF THE TAX ASSESSMENT MAPS OF MANTUA TOWNSHIP, GLOUCESTER COUNTY, NEW JERSEY.
  - THIS SURVEY IS REFERENCED TO A TITLE POLICY PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, POLICY NO. 5011434-0218076E, POLICY DATE: 2/26/2025.
  - REFERENCE DEED: DEED BOOK 7136, PAGE 300.
  - REFERENCE MAPS:
    - "SITE PLAN, THE BANK OF GLOUCESTER COUNTY, PLATE 12, BLOCK 46.03, LOT 5.02" PREPARED BY LAND DIMENSIONS ENGINEERING, DATED 3/2/1999, LAST REVISED 2/10/2000.
    - "FINAL PLAN OF LOTS - LITTLE MILL" PREPARED BY AMERICAN LAND SURVEYING COMPANY, DATED 2/3/1999 AND FILED IN THE GLOUCESTER COUNTY CLERK'S OFFICE ON 2/24/1999 AS MAP NO. 3008.
    - "MAJOR SUBDIVISION, CENTRE CITY II" PREPARED BY VAN NOTE HARVEY ASSOCIATES, DATED 7/7/1987, LAST REVISED 2/16/1988.
  - UTILITIES DEPICTED HEREON ARE BASED ON OBSERVABLE EVIDENCE AT THE TIME OF THE SURVEY. UNDERGROUND UTILITIES MAY NOT NECESSARILY BE COMPLETE AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION PRIOR TO ANY GROUND DISTURBANCE AND/OR EXCAVATION CONSTRUCTION AND/OR OWNER MUST CONTACT NEW JERSEY ONE CALL (811).
  - HORIZONTAL DATUM IS REFERENCED TO THE NJ STATE PLANE COORDINATE SYSTEM (NAD 1983-2011) AND ELEVATIONS ARE ON THE NORTH AMERICAN VERTICAL DATUM (NAVD 1988) BASED ON GNSS STATIC OBSERVATIONS.
  - PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR GLOUCESTER COUNTY, NEW JERSEY, MAP NUMBER 34015C0001E, EFFECTIVE: 8/17/2016.
  - A WISPR RANGER PRO 1100 UAV EQUIPPED WITH A SONY EX-LR1 35MM CAMERA WAS UTILIZED TO ACQUIRE 247 AERIAL IMAGES, CAPTURED AT AN AVERAGE ALTITUDE OF 200 FT WITH A GSD OF 0.03 FT AND A LENS 45M LENS SENSOR ACQUIRED APPROXIMATELY 44 MILLION POINTS, CAPTURED AT AN AVERAGE ALTITUDE OF 200 FT. A GNSS RECEIVER WAS UTILIZED TO GEOTAG THE IMAGES AND GEOREFERENCE THE POINT CLOUD. FLIGHTS WERE PERFORMED ON 8/4/2025. ADDITIONAL PHYSICAL FEATURES AND TOPOGRAPHIC INFORMATION TAKEN FROM A FIELD SURVEY PERFORMED BY THIS OFFICE IN SEPTEMBER 2025.

**LEGEND**

⊙ IRON PIN	⊙ GAS METER	• SPOT ELEVATION	--- 1' CONTOUR INTERVAL
⊠ ADA DETECTABLE WARNING	⊙ GAS VALVE	⊙ STORM MANHOLE	--- 5' CONTOUR INTERVAL
⊠ AIR CONDITIONING UNIT	⊙ GUY WIRE	⊙ TREE	--- CURB
• BOLLARD / POST	⊙ HEADWALL	⊙ UNKNOWN MANHOLE	--- DEPRESSED CURB
⊙ CLEANOUT	⊙ 'A' INLET	⊙ UNKNOWN VALVE	--- EDGE OF PAVEMENT
⊙ DOWNSPOUT	⊙ 'B' INLET	⊙ UTILITY POLE	--- EDGE OF STONE
⊙ ELECTRIC METER	⊙ 'E' INLET	⊙ UTILITY POLE W/LIGHT	--- EDGE OF DIRT
⊙ FINISHED FLOOR	⊙ LIGHT POLE	⊙ WATER METER	--- CHAIN LINK FENCE
⊙ FIRE DEPARTMENT CONNECTION	⊙ SANITARY MANHOLE	⊙ WATER VALVE	--- METAL FENCE
⊙ FIRE HYDRANT	⊙ SHRUB		--- VINYL FENCE
⊙ FLAGPOLE	⊙ SIGN		--- WIRE FENCE
			--- OVERHEAD WIRES
			--- PROPERTY LINE
			--- STORM LINE
			--- SANITARY LINE
			--- WOODS LINE



DATE	NO.	REVISIONS	BY	APPR.
BOUNDARY & TOPOGRAPHIC SURVEY TAX LOT 5.02, BLOCK 46.03 MANTUA TOWNSHIP, GLOUCESTER COUNTY, NJ PREPARED FOR: 450 BRIDGETON PIKE LLC				
		<b>VARGO ASSOCIATES</b> Surveying and Mapping P.O. Box 647, Franklinville New Jersey 08222 (856) 694-1718 <small>© COPYRIGHT 2015 VARGO ASSOCIATES ALL RIGHTS RESERVED            Certificate of Authorization # 2522921000</small>		
SCALE 1" = 30'	DRAWN BY MVM	DATE 8/15/2025	FIELD NO./PROJECT NO. 25153	SHEET NO. 1 OF 1
 <b>MICHAEL R. VARGO</b> <small>N.J. Professional Land Surveyor License No. 31982 &amp; Professional L.S. No. 026 3327            PA. Professional Land Surveyor License No. 53455513E            DE. Professional Land Surveyor License No. 86-000030</small>				