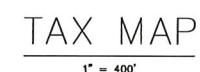


**K2**  
Consulting Engineers, Inc.

**Professional Civil Engineers  
Certificate of Authorization  
#24GA28187400**

**36 Tanner Street, Suite 100  
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SHEET INDEX		
SHEET NO.	DESCRIPTION	LAST REVISION
	CIVIL/SITE DESIGN PLANS	
1 of 27	COVER SHEET	
2 of 27	PROJECT INFORMATION SHEET	
3 of 27	EXISTING CONDITIONS AND DEMOLITION PLAN	
4 of 27	OVERALL SITE IMPROVEMENT PLAN	
5 of 27	SITE LAYOUT PLAN	
6 of 27	SITE LAYOUT PLAN	
7 of 27	OVERALL GRADING AND DRAINAGE PLAN	
8 of 27	GRADING PLAN	
9 of 27	GRADING PLAN	
10 of 27	STORM SEWER UTILITY PLAN	
11 of 27	STORM SEWER UTILITY PLAN	
12 of 27	SEWER & WATER UTILITY PLAN	
13 of 27	SEWER & WATER UTILITY PLAN	
14 of 27	LANDSCAPING AND LIGHTING PLAN	
15 of 27	LANDSCAPING AND LIGHTING PLAN	
16 of 27	VEHICLE CIRCULATION PLAN	
17 of 27	SOIL EROSION AND SEDIMENT CONTROL PLAN	
18 of 27	SOIL EROSION AND SEDIMENT CONTROL PLAN	
19 of 27	SOIL COMPACTION MITIGATION PLAN	
20 of 27	SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	
21 of 27	SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	
22 of 27	SEWER & WATER DETAILS	
23 of 27	CONSTRUCTION DETAILS	
24 of 27	CONSTRUCTION DETAILS	
25 of 27	PRE-DEVELOPED DRAINAGE AREA PLAN	
26 of 27	POST-DEVELOPED DRAINAGE AREA PLAN	
27 of 27	PAVED BASIN DRAINAGE	

THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND OTHER AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVALS HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "FINAL ISSUED FOR CONSTRUCTION".

MUNICIPAL CLERK \_\_\_\_\_ DATE \_\_\_\_\_

OWNER / APPLICANT	DATE
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*John W. Kornick*  
JOHN W. KORNICK, P.E.  
Professional Engineer, New Jersey Lic. No. 24GE04928500

FE:	06/30/2025
SIGN BY:	WFR
AWN BY:	WFR
DATE:	N. T.S.
NO.:	PD23-129
FEET	
1	OF 27



LANDSCAPE NOTES:

1. ALL PLANTINGS SHALL BE CONTAINED WITHIN MULCHED BEDS. MUCH DOUBLE SHREDED HARDWOOD BARK OR ROOT MULCH SHALL BE APPLIED AT DEPTH OF THREE INCHES.
2. PLANT SIZES SHOWN IN PLANTING SCHEDULE ARE THE SIZE AT TIME OF PLANTING. ALL TREES SHALL BE SUBSTANTIALLY UNIFORM IN SIZE AND SHAPE AND HAVE STRAIGHT TRUNKS.
3. WITH THE EXCEPTION OF TRANSPLEANTED MATERIAL, ALL PROPOSED PLANT MATERIALS SHALL BE NURSERY GROWN, DISEASE FREE, AND SHALL CONFORM TO THE STANDARDS LISTED IN AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, CURRENT EDITION, PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA).
4. TWO YEAR MAINTENANCE GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM DATE OF FINAL ACCEPTANCE. ALL PLANT MATERIAL NOT SURVIVING FOR A PERIOD OF TWO (2) YEARS SHALL BE REPLACED WITH THE SAME OR EQUIVALENT TREE SPECIES. DEAD OR DYING TREES SHALL BE REPLACED BY THE CONTRACTOR DURING THE NEXT SUITABLE PLANTING SEASON.
5. ALL UNSURFACED AREAS ARE TO RECEIVE SIX (6") INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
6. EXISTING TREES TO REMAIN WITHIN THE PROJECT SITE SHALL BE SELECTIVELY PRUNED FOR ANY DEAD OR DYING LIMBS.
7. IN CASE OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ACTUAL NUMBER OF PLANTS ON THE PLAN, THE NUMBER OF PLANTS SHOWN ON THE PLAN SHALL PREVAIL.
8. LANDSCAPE PLAN SHALL BE USED FOR LANDSCAPE PURPOSES ONLY. REFER TO CIVIL ENGINEERING DRAWINGS FOR UTILITY GRADING, STORM WATER MANAGEMENT, AND SOIL EROSION CONTROL. INFORMATION THAT MAY NEED TO BE COORDINATED WITH LANDSCAPE WORK.
9. PLANT MATERIALS THAT HAVE DAMAGED OR CROOKED LEADERS, DEFORMED GROWTH HABIT, ABRASIONS OF THE BARK, SUNSCALD, WINDBURN, DISFIGURING KNOTS, INSECT OR DISEASE PESTS SHALL BE REJECTED. IN ADDITION, TREES HAVING THEIR CENTRAL LEADERS HADDED BACK WILL ALSO BE REJECTED.
10. PLANT MATERIAL SHALL BE WELL-GROWN AND TRUE TO FORM FOR SIZE AND SPECIES. STUNTED OR LEGGY PLANT MATERIAL WILL BE REJECTED.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF.
12. THE CONTRACTOR SHALL STAKEOUT PLANTINGS FOR THE OWNER'S REPRESENTATIVE'S APPROVAL PRIOR TO BEGINNING WORK.
13. THE CONTRACTOR IS HEREBY NOTIFIED THAT UNDERGROUND UTILITIES MAY EXIST AND HE SHOULD SECURE CURRENT UTILITY PLANS BEFORE COMMENCING WORK.
14. PLANTINGS SHALL NOT BLOCK, IMPEDE OR INTERFERE WITH THE SAFE USE, OPERATION OR MAINTENANCE OF HIGHWAYS, SIDEWALKS, SOFT EXISTENCES, UTILITIES, AND LIGHTING. TREES SHALL BE OFFSET A MINIMUM OF 10 FEET FROM UTILITY LINES AND 15 FEET FROM OVERHEAD UTILITY LINES. PLANTINGS SHALL NOT BE OF AN INVASIVE NATURE, WEEDY OR BRITTLE CHARACTER, EASILY SUSCEPTIBLE TO PEST INFESTATIONS AND/OR DISEASES, OR POSSESS HAZARDOUS CHARACTERISTICS (BEE-ATTRACTING, POISONOUS, THORNY) WHEN USED IN AREAS DESIGNATED FOR SITTING OR PLAY.
15. EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE SHALL BE PROTECTED AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF ROOTS BY STOCK PILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIAL WITHIN DRIP LINE, EXCESS FOOT OR VEHICLE TRAFFIC OR PARKING OF VEHICLES WITHIN DRIP LINE.
16. THE CONTRACTOR SHALL REFER TO THE "EXISTING TREE PROTECTION DETAIL", AS PROVIDED ON THE DETAIL SHEETS FOR SPECIFIC MEASURES RELATIVE TO THE PROTECTION OF EXISTING TREES BOTH ON- AND OFF-SITE.
17. EXOTIC AND INVASIVE SPECIES SHALL NOT BE PERMITTED. NATIVE SPECIES ARE ENCOURAGED.
18. TREES SHALL BE PRUNED ANNUALLY. THE USE OF TREE WRAP SHALL BE PROHIBITED.

UTILITY NOTES:

1. THE CONTRACTOR SHALL NOTIFY THE LOCAL UTILITY PROVIDERS IN ADVANCE OF CONSTRUCTION TO COORDINATE THE RELOCATION OF EXISTING UTILITY POLES AND TRANSFORMERS, IF REQUIRED.
2. THE LOCATION AND/OR DEPTHS OF EXISTING UTILITIES ARE APPROXIMATE & MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
3. ALL TRENCHES WILL BE BACKFILLED BY COMPACTION IN EIGHT (8) INCH LAYERS COMPACTED TO 95% DENSITY IN STRICT ACCORDANCE WITH THE TRENCH DETAILS & SPECIFICATIONS.
4. INSPECTION OF, OR FAILURE TO INSPECT ANY MATERIALS OR WORKMANSHIP BY THE ENGINEER FOR THE TOWNSHIP SHALL IN NO WAY RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH THE PLAN, SPECIFICATIONS AND APPLICABLE LAWS.
5. WHENEVER THE TRENCH BOTTOM DOES NOT AFFORD SUFFICIENT BEARING STRENGTH TO SUSTAIN THE WEIGHT OF THE PIPE & SUPERIMPOSED LOADS, THE TRENCH BOTTOM SHALL BE OVER-EXCAVATED & STABILIZED WITH SIX (6) INCHES MINIMUM THICK LAYERS OF CRUSHED STONE, AS DIRECTED BY THE ENGINEER.
6. ALL GENERAL CONSTRUCTION MATERIALS, TESTING & METHODS OF INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER.
7. IN ACCORDANCE WITH THE TOWNSHIP OF MANTUA, ALL ELECTRIC, TELEPHONE, TRAILER, AND OTHER UTILITIES, AND ALL WATER MAIN AND SERVICE LINES SERVICING NEW DEVELOPMENT, SHALL BE PROVIDED BY UNDERGROUND WIRING WITHIN EASEMENTS OR DEDICATED PUBLIC RIGHTS-OF-WAY.
8. THE LOCATION OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM VARIOUS SOURCES & ARE SHOWN FOR DESIGN & ESTIMATING PURPOSES ONLY. ACTUAL LOCATIONS OF UTILITIES SHALL BE FIELD VERIFIED. ANY DISCREPANCY OR APPARENT CONFLICTS SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER FOR REMEDIATION.
9. LETTERS OF COMMITMENT TO PROVIDE SERVICE MUST BE SUBMITTED BY ALL APPLICABLE UTILITY AGENCIES PRIOR TO FINAL APPROVAL.
10. ALL ABOVE GROUND UTILITY APPARATUS SHALL BE PROVIDED WITH YEAR ROUND SCREENING.

CONSTRUCTION NOTES:

3. THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.
4. THE CONTRACTOR SHALL PROCURE AND PAY FOR ALL NECESSARY PERMITS AND LICENSES REQUIRED TO CARRY OUT HIS WORK IN FULL ACCORDANCE WITH THE REQUIREMENTS OF ALL REGULATIONS AND AUTHORITIES HAVING JURISDICTION AT NO COST TO THE OWNER.
5. CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REQUIREMENTS.
6. INSPECTION OF, OR FAILURE TO INSPECT ANY MATERIALS OR WORKMANSHIP BY THE ENGINEER FOR THE TOWNSHIP SHALL IN NO WAY RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH THE PLAN, SPECIFICATIONS AND APPLICABLE LAWS.
7. ALL SITE IMPROVEMENTS, I.E. ASPHALT PAVING AND CONCRETE FLOWTWORK, SHALL BE DONE IN ACCORDANCE WITH THE 2019 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION, INCLUDING ALL ADDENDA, EXCEPT AS MODIFIED, SUPPLEMENTED, AMENDED OR SUPERSEDED BY THE BID SPECIFICATIONS OR AS SPECIFIED ON THE IMPROVEMENT PLANS.
8. EXISTING ASPHALT CONCRETE PAVEMENT SHALL BE CUT AND REMOVED IN SUCH A MANNER SO AS NOT TO TEAR, BULGE OR DISPLACE ADJACENT PAVEMENT. EDGES SHALL BE CLEAN AND VERTICAL. ALL CUTS SHALL BE PARALLEL OR PERPENDICULAR TO THE DIRECTION OF TRAFFIC.
9. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND, PRIOR TO PROCEEDING WITH CONSTRUCTION, IN TO DETERMINE THE CORRECTIVE MEASURES.
10. THE PROJECT SITE IS TO BE CLEARED UNLESS AS REQUIRED. EXISTING TREES NOT TO BE REMOVED FOR SUBSTITUTION SHALL BE PROTECTED ALONG ALL EXCAVATION AND CONSTRUCTION LIMITS.
11. CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REQUIREMENTS.
12. THE CONTRACTOR SHALL PROPERLY DISPOSE OF ALL SPOILS AND EXCAVATED MATERIALS. NO CONSTRUCTION DEBRIS, CUT VEGETATION, TREE STUMPS, OR ANY OTHER SOLID WASTE EXISTING ON SITE IS TO BE BURIED OR BURNED ON SITE. ALL WASTE MUST BE PROPERLY REMOVED AND DISPOSED OFF SITE PER STATE STANDARDS.
13. MEET EXISTING GRADES AT ALL LIMITS OF CONSTRUCTION.
14. ALL DISTURBED AREAS SHALL BE TOPSOILED AND SEEDED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, LATEST EDITION.

GENERAL NOTES:

OWNER/APPLICANT: 455 MAIN, LLC  
3540 WHARTON STREET  
PHILADELPHIA, PA 19146

- TRACT IS KNOWN AS BLOCK 160, LOT 13 AS SHOWN ON PLATE 31 OF THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF MANANTIA, GLOUCESTER COUNTY, NEW JERSEY.
2. TOTAL TRACT AREA: ±506,810 SF (±11.63 ACRES) MORE OR LESS.
3. THE SUBJECT TRACT IS ZONED IN THE R-40 – LOW DENSITY RESIDENTIAL ZONING DISTRICT AS INDICATED ON THE ZONE MAP DATED NOVEMBER 2019, AS PROVIDED BY THE TOWNSHIP OF MANANTIA. A USE VARIANCE WAS APPROVED FOR DEVELOPMENT OF A COMMERCIAL/USED USE, MEMORIALIZED ON SEPTEMBER 17, 2024. REFERENCE TOWNSHIP OF MANANTIA RESOLUTION #2024-017.
4. BASE INFORMATION HAS BEEN TAKEN FROM THE FOLLOWING SOURCES:
  1. BOUNDARY INFORMATION HAS BEEN BASED UPON A PLAN ENTITLED "PLAN OF SURVEY AND TOPOGRAPHY, 455 MAIN STREET, MANANTIA, NEW JERSEY 08051, LOT 13 IN BLOCK 160 ON TAX MAP SHEET S1, TOWNSHIP OF MANANTIA, GLOUCESTER COUNTY, NEW JERSEY," AS PREPARED BY K2 CONSULTING ENGINEERS, INC., DATED NOVEMBER 5, 2024.
  2. TOPOGRAPHIC INFORMATION HAS BEEN BASED ON LIDAR TOPOGRAPHY
  3. LOT LINES AND ADJOINING LINES SHOWN HEREON ARE TAKEN FROM THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF MANANTIA.
5. PRESENT USE: SINGLE FAMILY RESIDENTIAL / COMMERCIAL
6. PROPOSED USE: COMMERCIAL/MULTI-USE/FLEX SPACE
7. THIS PLAN PROPOSES THE CONSTRUCTION OF TWO (2) 5,000 SF COMMERCIAL/RETAIL BUILDINGS, TWO (2) 30,000 SF MULTI-USE BUILDINGS, AND ONE (1) 14,000 SF OUTDOOR STORAGE YARD. A USE VARIANCE WAS APPROVED FOR DEVELOPMENT OF A COMMERCIAL/USED USE, MEMORIALIZED ON SEPTEMBER 17, 2024. REFERENCE TOWNSHIP OF MANANTIA RESOLUTION #2024-017.
8. PROPERTY IS LOCATED WITHIN ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS PER 2016 FEMA FLOOD INSURANCE RATE MAP #34015C0091F, EFFECTIVE DATE AUGUST 17, 2016.
9. PROPERTY DOES NOT CONTAIN, NOR IS IT ADJACENT TO, FRESHWATER WETLANDS AS PER THE NJDEP GIS DATABASE FOR GLOUCESTER COUNTY.
10. THE PROJECT IS LOCATED WITHIN THE PA-1 METROPOLITAN AND PA-2 SUBURBAN PLANNING AREAS.
11. THE PROJECT IS LOCATED WITHIN THE MANANTIA CREEK WATERSHED (HUC11 #02040202130).
12. SITE IS WITHIN THE MAPPED SEWER SERVICE AREA. CONNECTIONS TO BE INSTALLED AS PER PLAN.
13. VERTICAL INFORMATION BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
14. HORIZONTAL INFORMATION BASED ON NORTH AMERICAN DATUM OF 1983 (NAD 83).
15. ALL HVAC, MECHANICAL AND UTILITIES SHALL BE SCREENED.
16. LOCATION OF PROPOSED GAS MAINS, TELEPHONE LINES, CABLE TELEVISION LINES AND ELECTRICITY LINES SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANIES.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES, AND DISCREPANCIES FOUND IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
18. THE CONTRACTORS ARE REQUIRED TO CALL FOR A MARKOUT NOT LESS THAN THREE BUSINESS DAYS OR MORE THAN TEN BUSINESS IN ADVANCE OF COMMENCING ANY EXCAVATION WORK.
19. ALL ACCESSIBLE FACILITIES SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE, WITH THE REQUIREMENTS OF THE NJ BARRIER-FREE SUBCODE 5.23-7 AND CURRENT A.D.A. REQUIREMENTS.
20. THE OWNER OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21(e) OF THE NEW JERSEY CONSTRUCTION CODE AND CFR 1926.32(f) (OSHA COMPLETE PERSON).
21. THE PROPOSED APPLICATION WILL REQUIRE APPROVALS FROM THE FOLLOWING AGENCIES:
  - TOWNSHIP OF MANANTIA ZONING BOARD
  - GLOUCESTER COUNTY PLANNING BOARD
  - GLOUCESTER COUNTY SOIL CONSERVATION DISTRICT
  - GLOUCESTER COUNTY MUNICIPAL UTILITIES AUTHORITY
  - NJDEP BSDM/TWA
22. ALL SUBMITTALS SHALL COMPLY WITH THE TOWNSHIP OF MANANTIA ORDINANCE REGARDING SUBMISSION OF DOCUMENTS, DRAWINGS, OR ELECTRONIC FILES.
23. ALL SITE WORK CONSTRUCTION AND DETAILS SHALL CONFORM TO THE STANDARDS OF THE TOWNSHIP OF MANANTIA.
24. THESE NOTES SHALL BE USED AS REFERENCE FOR THE ENTIRE SITE PLAN.

**PROJECT SUMMARY:**

THE SUBJECT PROPERTY IS LOCATED IN THE R-40 - LOW DENSITY RESIDENTIAL ZONING DISTRICT WITHIN THE TOWNSHIP OF MANTUA, GLOUCESTER COUNTY, N.J. THE PROPOSED USE IS NOT AN APPROVED USE WITHIN THE R-40 ZONING DISTRICT. A USE VARIANCE WAS APPROVED FOR DEVELOPMENT OF A COMMERCIAL/MIXED USE, MEMORIALIZED ON SEPTEMBER 17, 2024. REFERENCE TOWNSHIP OF MANTUA RESOLUTION #2024-017.

PRESENTLY, THE PROJECT SITE CONTAINS A SINGLE FAMILY DWELLING, AND A COMMERCIAL BUILDING/GARAGE WITH ASSOCIATED SITE FEATURES INCLUDING WALKWAYS, PARKING AREAS, AND CONCRETE REMNANTS.

THIS PROPOSED PRELIMINARY AND FINAL MAJOR SITE PLAN CONSISTS OF THE CONSTRUCTION OF TWO (2) 5,000 SF COMMERCIAL/RETAIL BUILDINGS, TWO (2) 30,000 SF MULTI-USE BUILDINGS, AND ONE (1) 14,000 SF OUTDOOR STORAGE YARD.

## SUMMARY OF REQUESTED WAIVERS & VARIANCES FROM ORDINANCE REQUIREMENTS

## VARIANCES

1. SECTION 230-14.C(1): APPLICANT IS SEEKING VARIANCE FROM THE MAXIMUM COVERAGE FOR IMPERVIOUS SURFACE WHERE 25% IS THE MAXIMUM PERMITTED AND 37.8% IS PROPOSED.
2. SECTION 230-30.F: APPLICANT IS SEEKING VARIANCE FROM THE MAXIMUM ALLOWABLE NUMBER OF FREE-STANDING SIGNS, WHERE ONE (1) IS ALLOWED, AND TWO (2) ARE PROPOSED.

### SUMMARY OF WAIVERS FROM THE TOWNSHIP'S SITE PLAN CHECKLIST

## SITE PLAN SUBMISSION AND APPLICATION CHECKLIST

SECTION 230-83.B(24) - LOCATIONS OF GAS TRANSMISSION MAINS

SECTION 230-83.B(24) -- LOCATIONS OF HIGH-TENSION POWER LINES, ON TRACT AND WITHIN 200 FEET OF TRACT

## HIGH-VOLTAGE PROXIMITY ACT

THE CONTRACTOR IS NOTIFIED THAT ALL PROVISIONS OF THE HIGH-VOLTAGE PROXIMITY ACT OF 1948 (21 USC AMENDMENT) THROUGH MAY 20, 1987 SHALL BE STRICTLY ADHERED TO. THE CONTRACTOR SHALL ALSO ADHERE TO ALL PROVISIONS OF PART 1925.550, SUBPART "N" OF THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF DECEMBER, 1970. PARTICULAR ATTENTION IS DIRECTED TO THE PROVISIONS OF THE ABOVE ACT REQUIRING WARNING SIGNS, NOTIFICATION TO POSER COMPANY AND RESPONSIBILITY FOR SAFEGUARDS AND ALSO PROHIBITED ACTIVITY.

A COPY OF THE HIGH-VOLTAGE PROXIMITY ACT IS AVAILABLE IN THE OFFICE OF THE COUNTY ENGINEER OR MAY BE OBTAINED FROM THE NEW JERSEY DEPARTMENT OF LABOR D, DIVISION OF WORKPLACE STANDARDS, OFFICE SAFETY COMPLIANCE, CN386, TRENTON, NEW JERSEY 08625-0386



OWNER & ADDRESS REPORT - LOT 13 IN BLOCK 180			
TOWNSHIP OF MANTUA CERTIFIED 200 FOOT LIST			
BLOCK	LOT	PROPERTY OWNER	PROPERTY ADDRESS
147	3	ROBERT B DINOM 261 CLAYTON AVENUE MONROEVILLE, NJ 08343	440 MAIN STREET
147	4.01	KINNAIRNEY RUBBER CO PO BOX 37 MANTUA, NJ 08051	450 MAIN STREET
147	4.02	ANTHONY J SOLI 445 MAIN STREET MANTUA, NJ 08051	446 MAIN STREET
147	5.02	BARBARA J & DANNY B CONLEY SR 454 MAIN STREET SEWELL, NJ 08080	454 MAIN STREET
147	5.03	ANTHONY & BEVERLY DISCIASCIO 721 GROVE ROAD WEST DEPTFORD, NJ 08086	460 MAIN STREET
147	17	CHAPEL RIDGE HDA C/O SCHARLE, R 7 SKYLINE CIRCLE SEWELL, NJ 08080	SKYLINE CIRCLE
160	6	MANTUA TOWNSHIP 401 MAIN STREET MANTUA, NJ 08051	401 MAIN STREET
160	8	BETTE J COUNSELLOR 481 MAIN STREET MANTUA, NJ 08051	MAIN STREET
160	11	HOUGHTON PROPERTIES, LLC 471 MAIN STREET MANTUA, NJ 08051	471 MAIN STREET
160	14	GEFFEN SELF STORAGE NJ 2, LLC 695 CROSS ST, SUITE 292 LAKEWOOD, NJ 08701	445 MAIN STREET
160	14.01	GEFFEN SELF STORAGE NJ 2, LLC 695 CROSS ST, SUITE 292 LAKEWOOD, NJ 08701	449 MAIN STREET

UTILITY COMPANIES

ATLANTIC CITY ELECTRIC REAL ESTATE DEPT.  
5100 HARDING HIGHWAY, SUITE 399  
MAYS LANDING, NJ 08330

SOUTH JERSEY GAS  
1 SOUTH JERSEY PLAZA  
FOLSOM, NJ 08037


COMCAST CABLE CO. CONSTRUCTION DEPT.  
1250 BERLIN ROAD  
CHERRY HILL, NJ 08034

GLOUCESTER COUNTY PLANNING DEPARTMENT  
1200 N. DELSEA DRIVE  
CLAYTON, NJ 08312

GLOUCESTER COUNTY HIGHWAY DEPARTMENT  
1200 N. DELSEA DRIVE  
CLAYTON, NJ 08312

MANITUA TOWNSHIP CLERK  
401 MAIN STREET  
MANITUA, NJ 08051

MANITUA TOWNSHIP MUA  
401 MAIN STREET  
MANITUA, NJ 08051

	
Professional Civil Engineers Certificate of Authorization #240428187400	
39 Tanner Street, Suite 100 Haddonfield, NJ 08033 Phone - 856.310.5205 Fax - 856.618.2441 www.K2CE.com	
	BY
	REVISION
	DATE

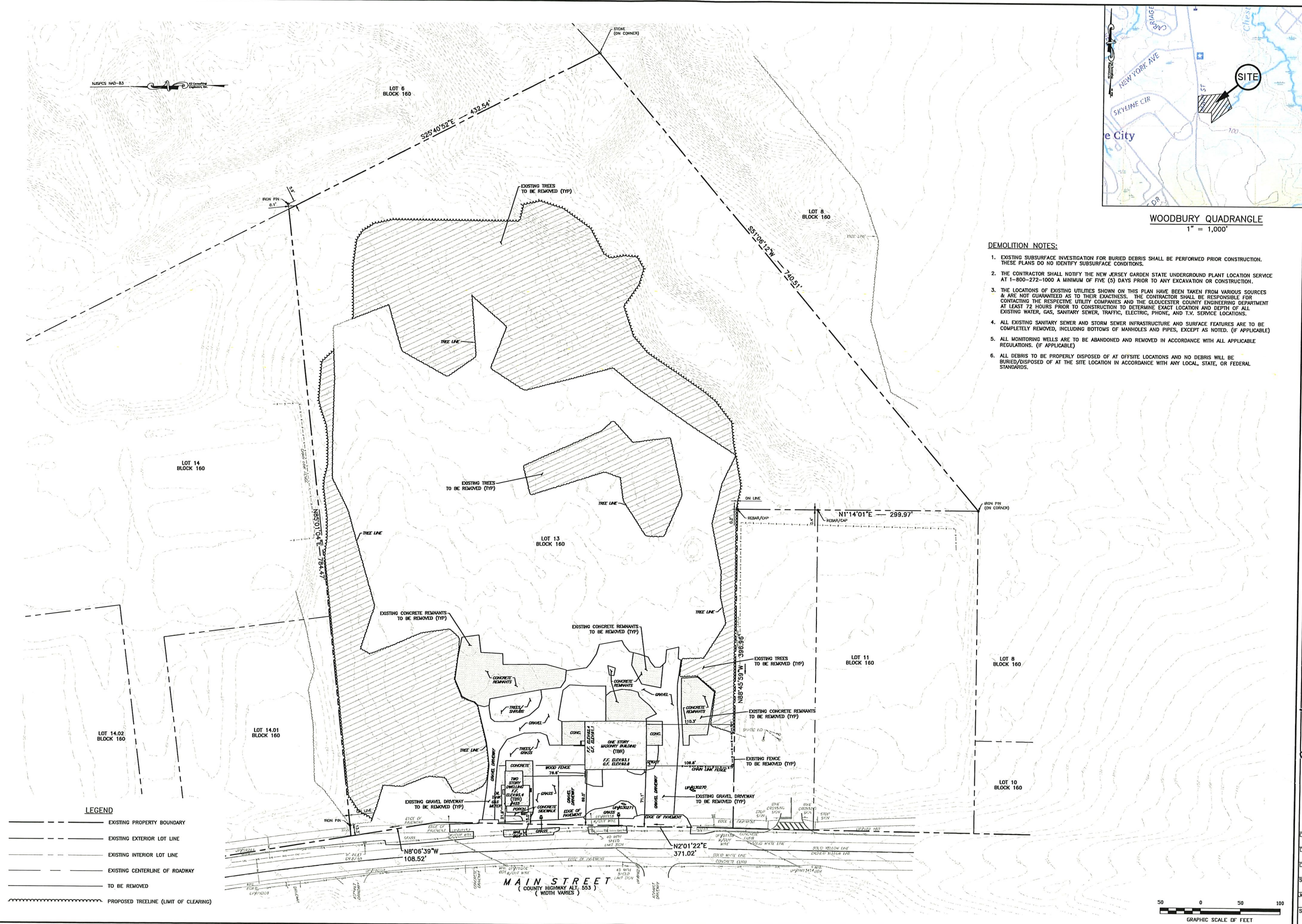
**PROJECT INFORMATION SHEET**  
**455 MAIN STREET**  
BLOCK 160 - LOT 13 - TAX MAP SHEET 31  
SITUATE IN THE  
TOWNSHIP OF MANTUA, GLOUCESTER COUNTY, NEW JERSEY

*John W. Kornick*  
JOHN W. KORNICK, P.E.  
Professional Engineer, New Jersey Lic. No. 24GE04928500

DATE:	06/30/2025	
DESIGN BY:	WFR	
DRAWN BY:	WFR	
SCALE:	N. T.S.	
JOB NO.:	PD23-129	
SHEET	2	OF 27



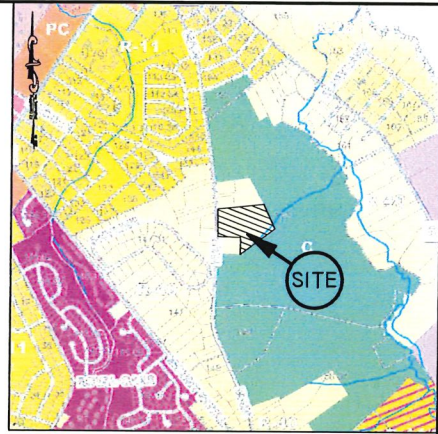
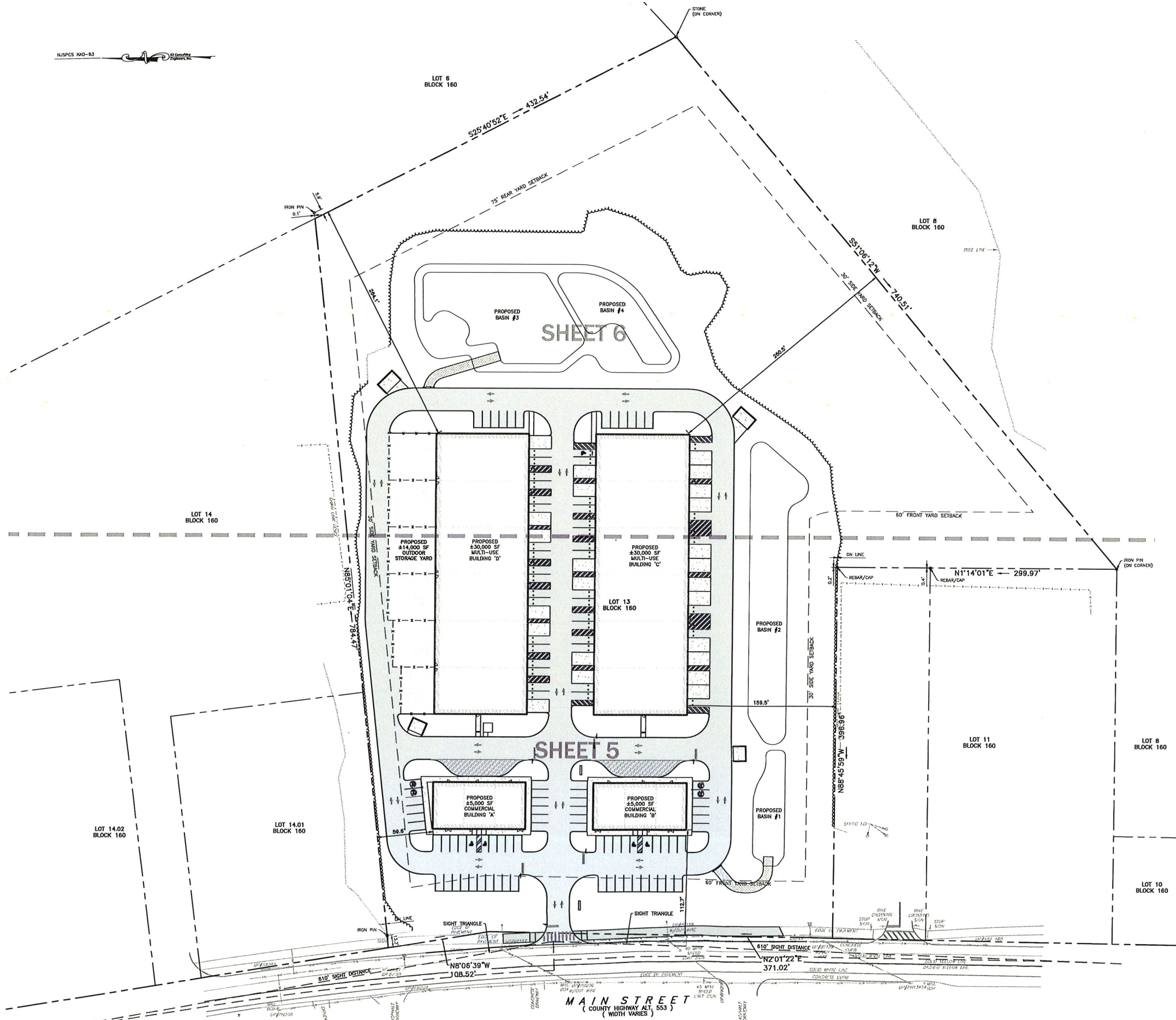
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 Professional Civil Engineers Certificate of Authorization #24GA28187400		36 Tanner Street, Suite 100 Haddonfield, NJ 08033 Phone - 609.310.5205 Fax - 609.616.2441 www.K2CE.com	
DATE: 06/30/2025		DESIGNED BY: WFR	
SCALE: 1" = 50'		DRAWN BY: WFR	
JOB NO: PD23-129		SHEET 3 OF 27	
 JOHN W. KORNICK, P.E. Professional Engineer, New Jersey Lic. No. 24GE04928500		EXISTING CONDITIONS/DEMOLITION PLAN 455 MAIN STREET BLOCK 160 - LOT 13 - TAX MAP SHEET 31 SITUATE IN THE TOWNSHIP OF MANTUA, GLOUCESTER COUNTY, NEW JERSEY	
		DATE	REVISION
			BY



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ZONING MAP  
1" = 1,500'

ZONING REQUIREMENTS:

ZONING DISTRICT: R-40 - LOW DENSITY RESIDENTIAL DISTRICT\*  
TOWNSHIP OF MANTUA, GLOUCESTER COUNTY, NEW JERSEY  
TAX MAP 31 - BLOCK 160 - LOT 13

CATEGORY	REQUIRED	EXISTING	PROPOSED	NOTES
PRINCIPAL BUILDING MINIMUM	1 AC	11.63 AC	11.63 AC	C/C
LOT AREA	175 FT	478.07 FT	478.07 FT	C/C
LOT WIDTH	200 FT	784.47 FT	784.47 FT	C/C
LOT DEPTH	150 FT	479.54 FT	479.54 FT	C/C
FRONT YARD	60 FT	112.7 FT	112.7 FT	E/C
SIDE YARD (EACH)	30 FT	109.6 FT	59.6 FT	C/C
REAR YARD	75 FT	736.6 FT	264.1 FT	C/C
MAXIMUM BUILDING HEIGHT	35 FT	<35 FT	<35 FT	C/C
MAXIMUM BUILDING COVER	15.0 %	1.2 % (6,043 SF)	13.8 % (70,000 SF)	C/C
MAXIMUM LOT COVER	25.0 %	4.4 % (22,364 SF)	37.8 % (191,650 SF)	C/V

(E) EXISTING NON-CONFORMING  
(C) CONFORMS  
(V) VARIANCE

\* USE VARIANCE APPROVED PER RESOLUTION #2024-017

PARKING:

REQUIRED PARKING SPACES: RETAIL/COMMERCIAL STORE & WAREHOUSE/FLEX SPACE:

WAREHOUSE/FLEX SPACE: ONE (1) SPACE PER 2,000 SF OF GROSS FLOOR AREA  
±60,000 SF GFA = 30 SPACES

COMMERCIAL/RETAIL: FIVE (5) SPACES PER 1,000 SF OF GROSS FLOOR AREA  
±10,000 SF GFA = 50 SPACES

TOTAL ADA SPACES REQUIRED = 5 SPACES

TOTAL ADA SPACES PROPOSED = 5 SPACES

TOTAL ELECTRIC VEHICLE (EVE) SPACES REQUIRED = 4 SPACES\*

TOTAL ELECTRIC VEHICLE (EVE) SPACES PROPOSED = 4 SPACES

TOTAL PARKING SPACES REQUIRED: 80 SPACES

TOTAL PARKING SPACES PROPOSED: 116 SPACES

\* BASED ON TOTAL REQUIRED PARKING SPACES

SIGNAGE:

BASED ON §230-30F

PROPOSED	PERMITTED/REQUIRED	PROPOSED	NOTES
FREE-STANDING SIGN			
R.O.W. SETBACK	15'	25'	(C)(C)
NUMBER OF SIGNS	1	2	
SIGN AREA	50 SF	36 SF	
HEIGHT	10 FT	7 FT	

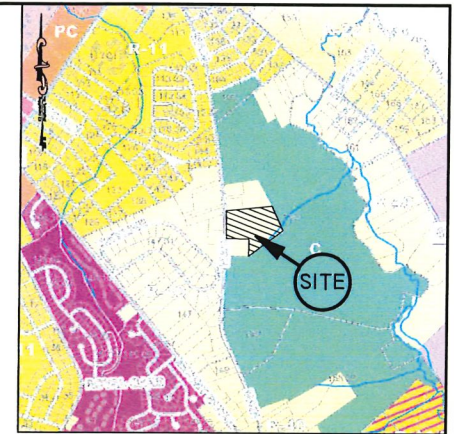
(E) EXISTING NON-CONFORMING  
(C) CONFORMS  
(V) VARIANCE

OVERALL SITE LAYOUT PLAN  
455 MAIN STREET  
BLOCK 160 - LOT 13 - TAX MAP SHEET 31  
TOWNSHIP OF MANTUA, GLOUCESTER COUNTY, NEW JERSEY

JOHN W. KORNICK, P.E.  
Professional Engineer, New Jersey Lic. No. 24GE04928500

DATE: 06/30/2025  
DESIGN BY: WFR  
DRAWN BY: WFR  
SCALE: 1"=50'  
JOB NO.: PD23-129  
SHEET 4 OF 27





ZONING REQUIREMENTS:

ZONING DISTRICT: R-40 - LOW DENSITY RESIDENTIAL DISTRICT\*  
TOWNSHIP OF MANTUA, GLOUCESTER COUNTY, NEW JERSEY  
TAX MAP 31 - BLOCK 160 - LOT 13

CATEGORY	REQUIRED	EXISTING	PROPOSED	NOTES
PRINCIPAL BUILDING MINIMUM				
LOT AREA	1 AC	11.63 AC	11.63 AC	C/C
LOT WIDTH	175 FT	478.07 FT	478.07 FT	C/C
LOT DEPTH	200 FT	784.47 FT	784.47 FT	C/C
LOT FRONTAGE	150 FT	479.54 FT	479.54 FT	C/C
FRONT YARD	60 FT	19.27 FT	19.27 FT	C/C
SIDE YARD (EACH)	30 FT	109.6 FT	59.6 FT	C/C
REAR YARD	75 FT	736.6 FT	284.1 FT	C/C
MAXIMUM BUILDING HEIGHT	35 FT	<35 FT	<35 FT	C/C
MAXIMUM BUILDING COVER	15.0 %	1.2 % (6,063 SF)	13.8 % (70,000 SF)	C/C
MAXIMUM LOT COVER	25.0 %	4.4 % (22,364 SF)	37.8 % (191,650 SF)	C/V

(E) EXISTING NON-CONFORMING  
(C) CONFORMS  
(V) **VARIANCE**

\* USE VARIANCE APPROVED PER RESOLUTION #2024-017

PARKING:

REQUIRED PARKING SPACES: RETAIL/COMMERCIAL STORE & WAREHOUSE/FLEX SPACE:

WAREHOUSE/FLEX SPACE: ONE (1) SPACE PER 2,000 SF OF GROSS FLOOR AREA  
±60,000 SF GFA = 30 SPACES

COMMERCIAL/RETAIL: FIVE (5) SPACES PER 1,000 SF OF GROSS FLOOR AREA  
±10,000 SF GFA = 50 SPACES

TOTAL ADA SPACES REQUIRED =	<u>5 SPACES</u>
TOTAL ADA SPACES PROVIDED =	<u>5 SPACES</u>

TOTAL ADA SPACES PROPOSED = 5 SPACES

TOTAL ELECTRIC VEHICLE (EVSE) SPACES REQUIRED = 1 SPACES

TOTAL ELECTRIC VEHICLE (EVSE) SPACES PROPOSED = 4 SPACES

TOTAL PARKING SPACES REQUIRED:	<b>80 SPACES</b>
TOTAL PARKING SPACES PROPOSED:	<b>116 SPACES</b>

\* BASED ON TOTAL REQUIRED PARKING SPACES

**SIGNAGE:**

SIGNAGE:  
BASED ON §230-30F

	PERMITTED/REQUIRED	PROPOSED	NOTES
<u>PROPOSED</u> <u>FREE-STANDING SIGN</u>			
R.O.W. SETBACK	15'	25'	(c)
NUMBER OF SIGNS	1	2	(v)
SIGN AREA	50 SF	36 SF	(c)
HEIGHT	10 FT	7 FT	(c)

(E) EXISTING NON-CONFORMING  
(C) CONFORMS  
(V) VARIANCE




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Certificate of Authorization  
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Phone - 856.310.5205  
Fax - 856.616.2441  
[www.K2CE.com](http://www.K2CE.com)

[illegible]

**SITE LAYOUT PLAN**  
**455 MAIN STREET**  
BLOCK 160 - LOT 13 - TAX MAP SHEET 31  
SITUATE IN THE  
TOWNSHIP OF MANTUA, GLOUCESTER COUNTY, NEW JERSEY

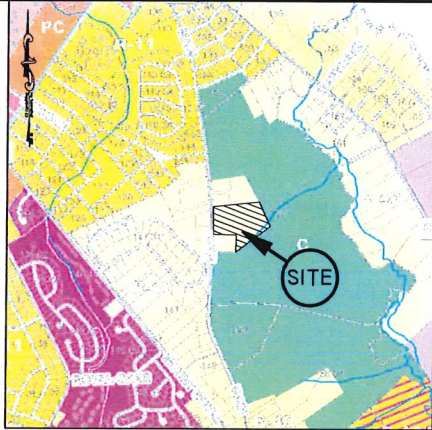
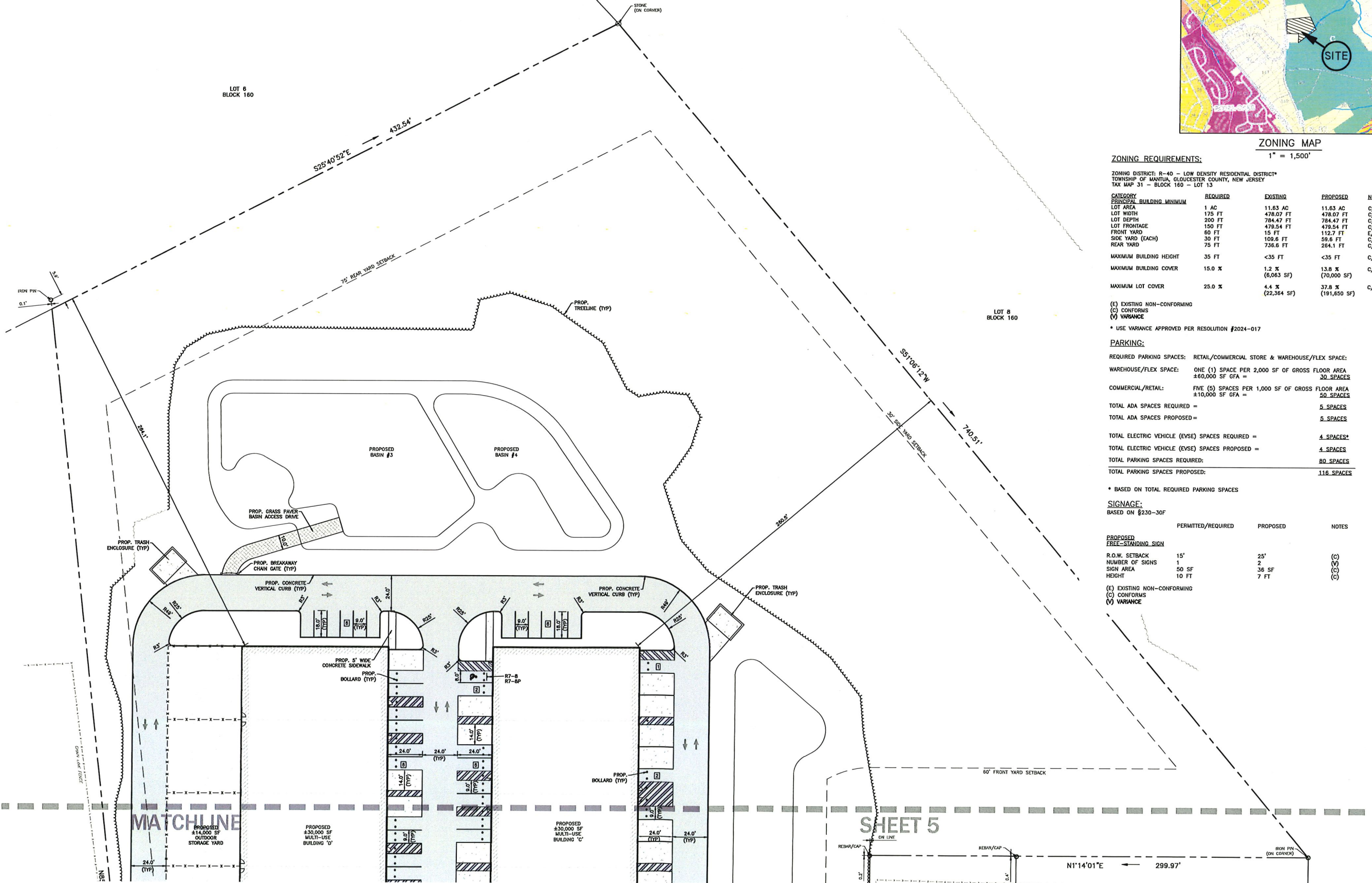
  
JOHN W. KORNICK, P.E.  
Professional Engineer, New Jersey Lic. No. 24GE04928500

DATE:	06/30/2025
SIGN BY:	WFR
DRAWN BY:	WFR
SCALE:	1"=30'
B NO.:	PD23-129
SHEET	
5	OF 27





DWG. NAME: W:\PROJECT FILES\PD23 Projects\PD23-129 - 455 Main Street, Twp of Mantua, Gloucester County\09-AUTOCAD\DESIGN\Layout.dwg



ZONING MAP  
1" = 1,500'

ZONING REQUIREMENTS:

ZONING DISTRICT: R-40 - LOW DENSITY RESIDENTIAL DISTRICT\*  
TOWNSHIP OF MANTUA, GLOUCESTER COUNTY, NEW JERSEY  
TAX MAP 31 - BLOCK 160 - LOT 13

CATEGORY	REQUIRED	EXISTING	PROPOSED	NOTES
PRINCIPAL BUILDING MINIMUM	1 AC	11.63 AC	11.63 AC	C/C
LOT AREA	175 FT	478.07 FT	478.07 FT	C/C
LOT WIDTH	200 FT	784.47 FT	784.47 FT	C/C
LOT DEPTH	150 FT	478.54 FT	478.54 FT	C/C
LOT FRONTAGE	15 FT	112.7 FT	112.7 FT	C/C
FRONT YARD	30 FT	109.6 FT	59.6 FT	C/C
SIDE YARD (EACH)	75 FT	736.6 FT	264.1 FT	C/C
REAR YARD	35 FT	<35 FT	<35 FT	C/C
MAXIMUM BUILDING HEIGHT	15.0 %	1.2 %	13.8 %	C/C
MAXIMUM BUILDING COVER	25.0 %	4.4 %	37.8 %	C/V
MAXIMUM LOT COVER		(6,063 SF)	(70,000 SF)	
		(22,364 SF)	(191,650 SF)	

(E) EXISTING NON-CONFORMING  
(C) CONFORMS  
(V) VARIANCE

\* USE VARIANCE APPROVED PER RESOLUTION #2024-017

PARKING:

REQUIRED PARKING SPACES: RETAIL/COMMERCIAL STORE & WAREHOUSE/FLEX SPACE:

WAREHOUSE/FLEX SPACE: ONE (1) SPACE PER 2,000 SF OF GROSS FLOOR AREA  
±60,000 SF GFA = 30 SPACES

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SIGNAGE:

BASED ON §230-30F

PROPOSED FREE-STANDING SIGN	PERMITTED/REQUIRED	PROPOSED	NOTES
R.O.W. SETBACK	15'	25'	(C)
NUMBER OF SIGNS	1	2	(V)
SIGN AREA	50 SF	36 SF	(C)
HEIGHT	10 FT	7 FT	(C)

(E) EXISTING NON-CONFORMING  
(C) CONFORMS  
(V) VARIANCE

SITE LAYOUT PLAN  
455 MAIN STREET

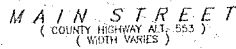
BLOCK 160 - LOT 13 - TAX MAP SHEET 31  
SITUATE IN THE  
TOWNSHIP OF MANTUA, GLOUCESTER COUNTY, NEW JERSEY

JOHN W. KORNICK, P.E.  
Professional Engineer, New Jersey Lic. No. 24GE04928500

DATE: 06/30/2025  
DESIGN BY: WFR  
DRAWN BY: WFR  
SCALE: 1"=30'  
JOB NO.: PD23-129  
SHEET 6 OF 27




NUSPCS NAD-63  E2 Consulting  
 Engineers, Inc.



1. REFER TO SHEET 2 OF THIS SET FOR CONSTRUCTION NOTES.
2. PER THE DEPARTMENT OF JUSTICE'S REVISED REGULATIONS FOR TITLES II AND III OF THE AMERICAN DISABILITIES ACT OF 1990 (ADA), DATED SEPTEMBER 15, 2010, ALL ADA ACCESSIBLE ROUTES SHALL BE CONSTRUCTED SO THAT THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:50 (2%) AND THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48 (2%). THE CONTRACTOR SHALL BE DIRECTED TO THE 2010 REDUCED STANDARD REGARDING ANY ITEMS RELATING TO ADA ACCESSIBILITY.
3. CONTRACTOR TO VERIFY DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.
4. TREE PROTECTION FENCE SHALL BE STAKED IN THE FIELD AND APPROVED PRIOR TO ANY CLEARING.

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**BLOCK 160 - LOT 13 - TAX MAP SHEET 31**  
**SITUATE IN THE**

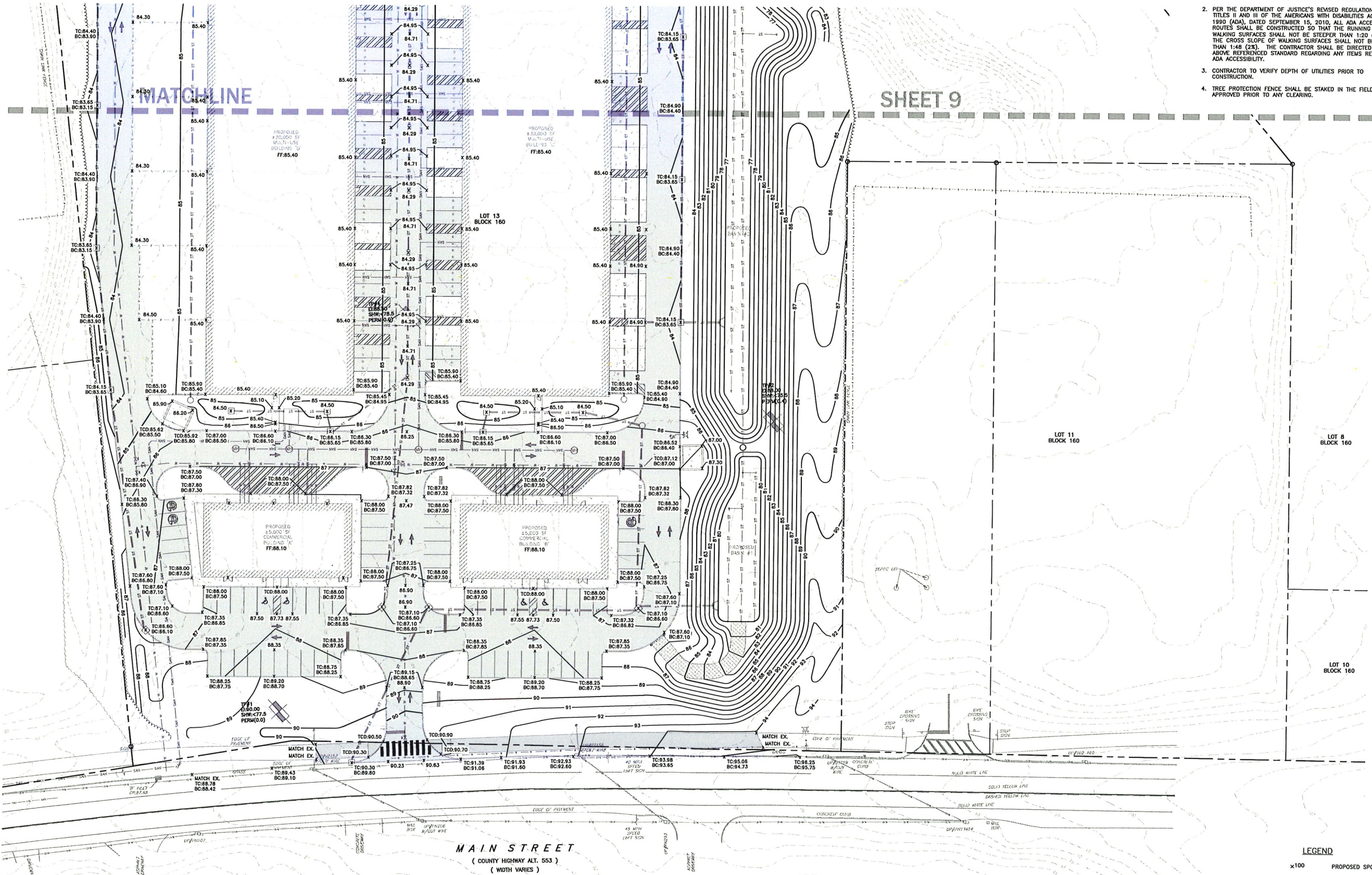
  
JOHN W. KORNICK, P.E.  
Professional Engineer, New Jersey Lic. No. 24GE04928500

DATE:	06/30/2025
DESIGN BY:	WFR
DRAWN BY:	WFR
SCALE:	1"=50'
JOB NO.:	PD23-129
SHEET	
7	OF 27



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N:\SPCS 140-83



- GRADING NOTES:**
1. REFER TO SHEET 2 OF THIS SET FOR CONSTRUCTION NOTES.
  2. PER THE DEPARTMENT OF JUSTICE'S REVISED REGULATIONS FOR TITLES II AND III OF THE AMERICANS WITH DISABILITIES ACT OF 1990 (ADA), DATED SEPTEMBER 15, 2010, ALL ADA ACCESSIBLE ROUTES SHALL BE CONSTRUCTED SO THAT THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%) AND THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48 (2%). THE CONTRACTOR SHALL BE DIRECTED TO THE ABOVE REFERENCED STANDARD REGARDING ANY ITEMS RELATING TO ADA ACCESSIBILITY.
  3. CONTRACTOR TO VERIFY DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.
  4. TREE PROTECTION FENCE SHALL BE STAKED IN THE FIELD AND APPROVED PRIOR TO ANY CLEARING.

**LEGEND**

x100	PROPOSED SPOT
100	EXISTING SPOT
---	PROPOSED CONTOUR
---	EXISTING CONTOUR
→	DRAINAGE FLOW ARROW
○	TREE PROTECTION FENCE
---	LIMIT OF CLEARING

30 0 30 60  
GRAPHIC SCALE OF FEET

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**GRADING PLAN**  
**455 MAIN STREET**  
**BLOCK 160 - LOT 13 - TAX MAP SHEET 31**  
SITUATE IN THE  
TOWNSHIP OF MANTUA, GLOUCESTER COUNTY, NEW JERSEY

**JOHN W. KORNICK, P.E.**  
Professional Engineer, New Jersey Lic. No. 24GE04928500

DATE: 06/30/2025  
DESIGN BY: WFR  
DRAWN BY: WFR  
SCALE: 1"=30'  
JOB NO.: PD23-129  
SHEET 8 OF 27



LOT 8  
BLOCK 160

TP#3  
E:82.00  
SNW:458  
PERM(2.3)

WIDE EMERGENCY  
FULLWAY EL 80.00

40' WIDE  
EMERGENCY SPILLWAY  
EL:82.00

# MATCHLINE

PROPOSED  
±30,000 SF  
MULTI-USE  
BUILDING 'D'  
FF:65.40

PROPOSED  
±30,000 S.  
MULTI-USE  
BUILDING  
FF:85.40

55 SHEET 88


30 0 30 60

GRAPHIC SCALE OF FEET

1. REFER TO SHEET 2 OF THIS SET FOR CONSTRUCTION NOTES.
2. PER THE DEPARTMENT OF JUSTICE'S REVISED REGULATIONS FOR TITLES 1 AND 2 OF THE AMERICANS WITH DISABILITIES ACT OF 1990 (ADA), DATED SEPTEMBER 15, 2010, ALL ADA ACCESSIBLE ROUTES SHALL BE CONSTRUCTED SO THAT THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:50 AND THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48 (2%). THE CONTRACTOR SHALL BE DIRECTED TO THE CURRENT ENHANCED STANDARD REGARDING ANY ITEMS RELATING TO ADA ACCESSIBILITY.
3. CONTRACTOR TO VERIFY DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.
4. TREE PROTECTION FENCE SHALL BE STAKED IN THE FIELD AND APPROVED PRIOR TO ANY CLEARING.

The diagram illustrates the layout of a proposed spot and existing spot on a road. It includes the following elements:

- PROPOSED SPOT**: Indicated by a horizontal line with a scale of  $\times 100$ .
- EXISTING SPOT**: Indicated by a horizontal line with a scale of  $\sqrt{100}$ .
- PROPOSED CONTOUR**: Indicated by a horizontal line with a scale of  $100$ .
- EXISTING CONTOUR**: Indicated by a horizontal line with a scale of  $100$ .
- DRAINAGE FLOW ARROW**: Indicated by a curved arrow pointing downwards.
- TREE PROTECTION FENCE**: Indicated by a horizontal line with two circles representing trees.
- LIMIT OF CLEARING**: Indicated by a horizontal line with a wavy pattern.




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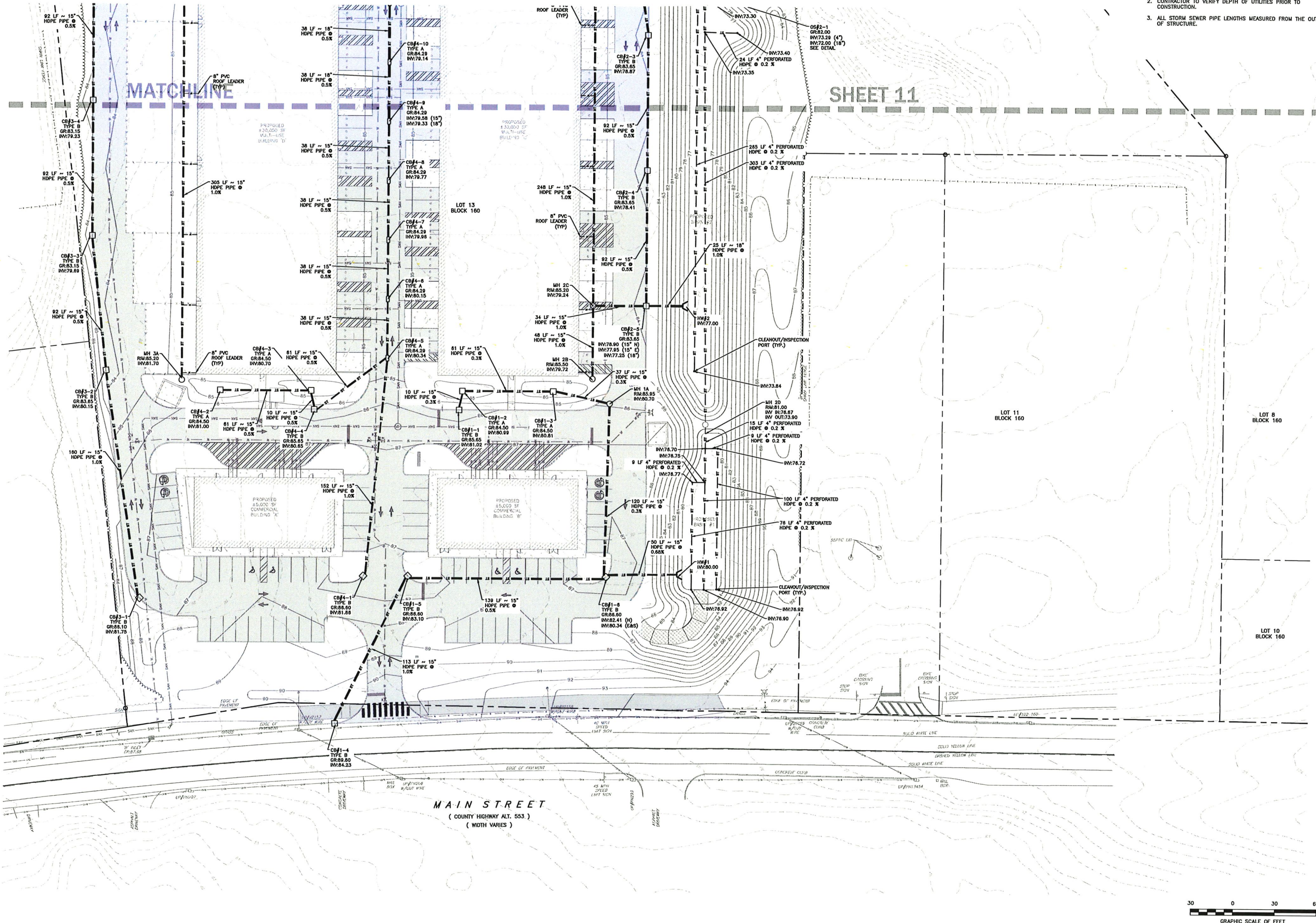
38 Tanner Street, Suite 100  
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[www.K2CE.com](http://www.K2CE.com)

**GRADING PLAN**  
**455 MAIN STREET**  
BLOCK 160 - LOT 13 - TAX MAP SHEET 31  
SITUATE IN THE  
TOWNSHIP OF MANTUA, GLOUCESTER COUNTY, NEW JERSEY

  
JOHN W. KORNICK, P.E.  
Professional Engineer, New Jersey Lic. No. 24GE0492850

DATE: 06/30/2025  
DESIGN BY: WFR  
DRAWN BY: WFR  
SCALE: 1"=30'  
JOB NO.: PD23-129  
SHEET 9 OF 27





STORM SEWER UTILITY NOTES:

1. REFER TO SHEET 2 OF THIS SET FOR CONSTRUCTION NOTES.
2. CONTRACTOR TO VERIFY DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.
3. ALL STORM SEWER PIPE LENGTHS MEASURED FROM THE OUTSIDE OF STRUCTURE.

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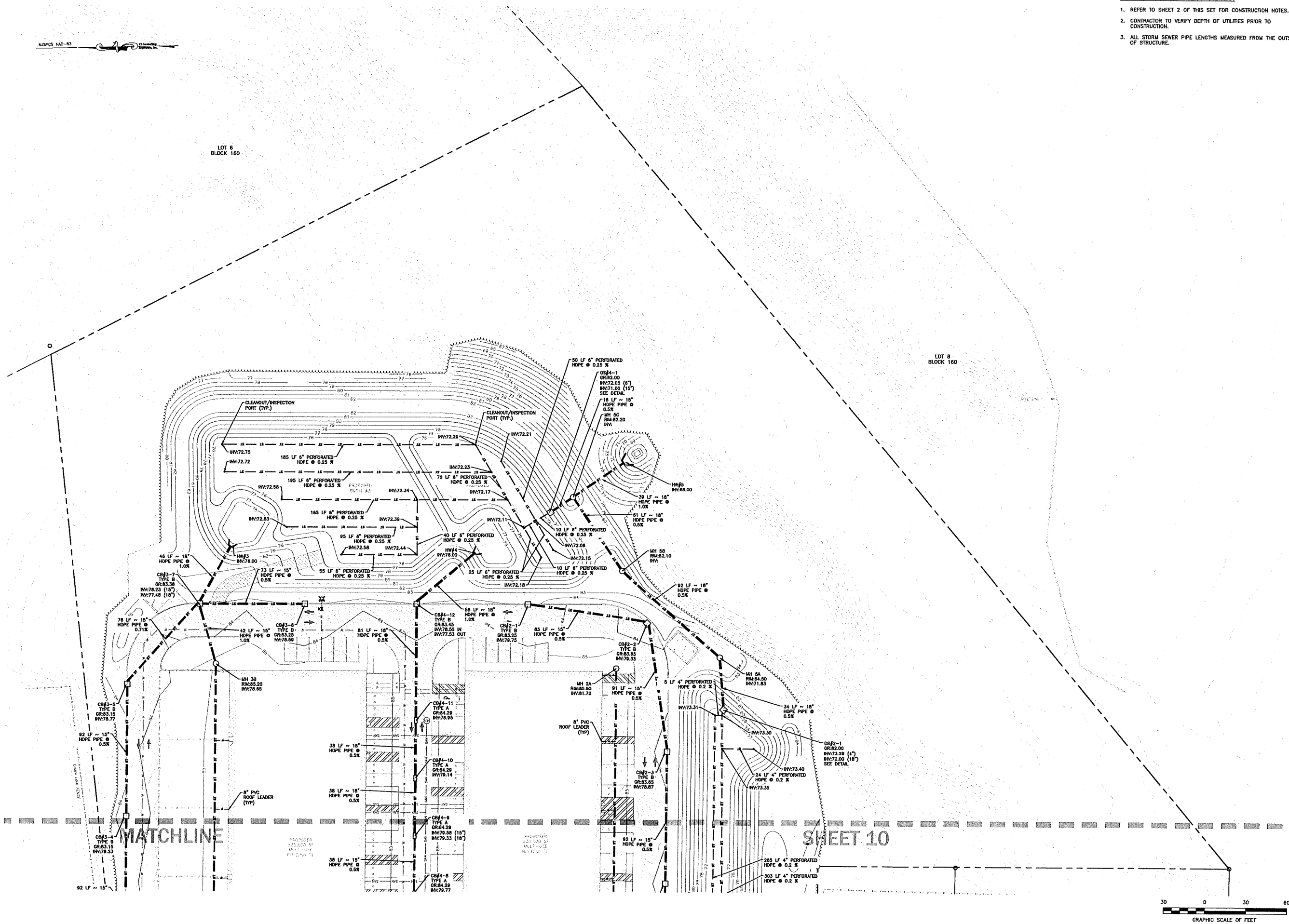
DATE: 06/30/2025  
DESIGN BY: WFR  
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SCALE: 1"=30'  
JOB NO.: PD23-129  
SHEET 10 OF 27

**JOHN W. KORNICK, P.E.**  
Professional Engineer, New Jersey Lic. No. 24GE04928500

**STORM SEWER UTILITY PLAN**  
**455 MAIN STREET**  
**BLOCK 160 - LOT 13 - TAX MAP SHEET 31**  
TOWNSHIP OF MANTUA, GLOUCESTER COUNTY, NEW JERSEY



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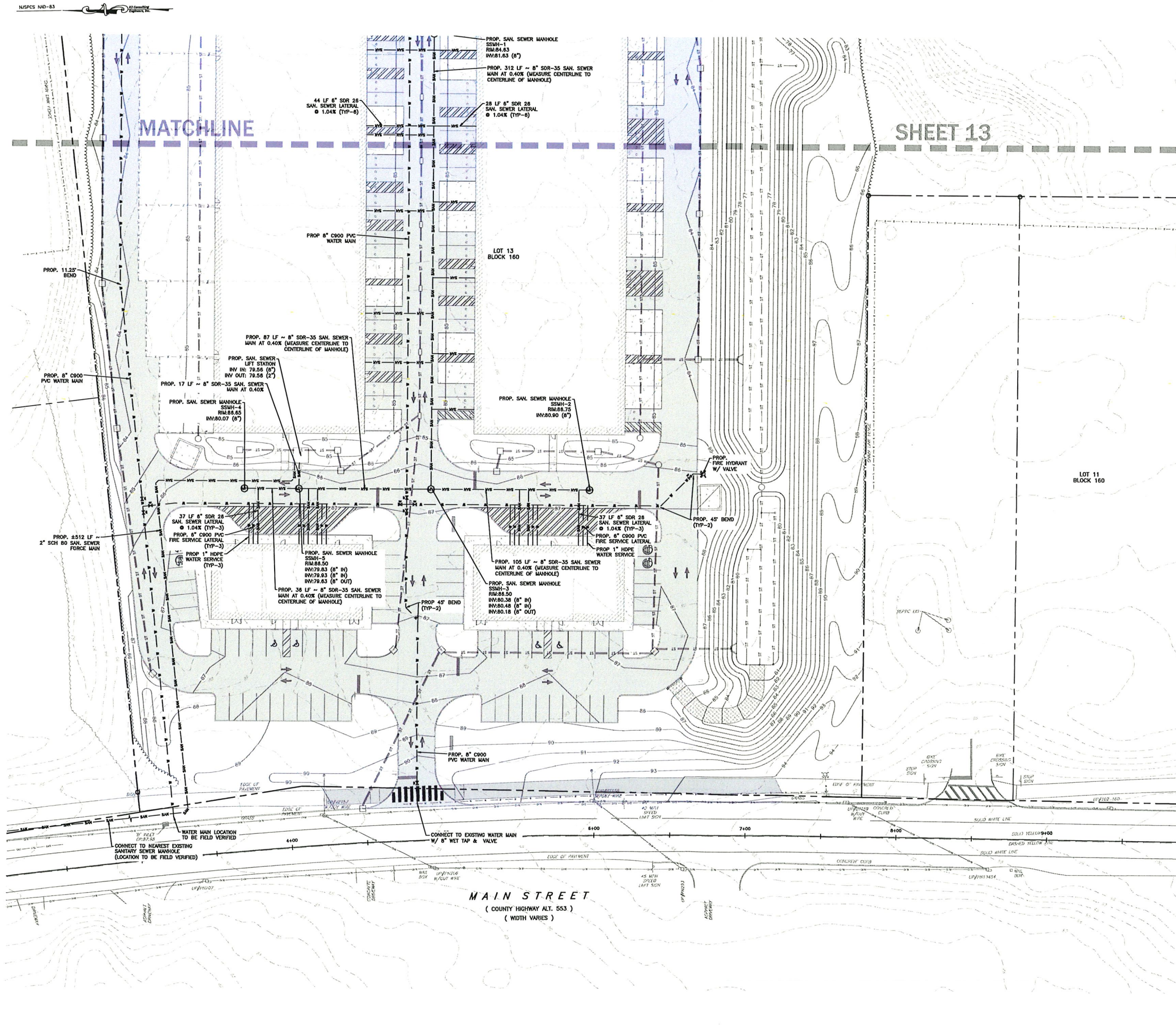


- STORM SEWER UTILITY NOTES:**
1. REFER TO SHEET 2 OF THIS SET FOR CONSTRUCTION NOTES.
  2. CONTRACTOR TO VERIFY DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.
  3. ALL STORM SEWER PIPE LENGTHS MEASURED FROM THE OUTSIDE OF STRUCTURE.

<b>K2</b> Professional Civil Engineer Certificate of Authorization #24GA28187400	
36 Tanner Street, Suite 100 Haddonfield, NJ 08033 Phone - 856.310.5205 Fax - 856.616.2441 www.K2CE.com	
DATE	BY
REVISION	BY
STORM SEWER UTILITY PLAN 455 MAIN STREET BLOCK 160 - LOT 13 - TAX MAP SHEET 31 SITUATE IN THE TOWNSHIP OF MANTUA, GLOUCESTER COUNTY, NEW JERSEY	
JOHN W. KORNICK, P.E. Professional Engineer, New Jersey Lic. No. 24GE04928500	
DATE:	06/30/2025
DESIGN BY:	WFR
DRAWN BY:	WFR
SCALE:	1"=30'
JOB NO.:	PD23-129
SHEET	11 OF 27



DWG. NAME: W:\PROJECT FILES\PD23-129 - 455 Main Street, Gloucester County\09-AUTOCAD\DESIGN\grade.dwg



#### SANITARY SEWER UTILITY NOTES:

1. REFER TO SHEET 2 OF THIS SET FOR CONSTRUCTION NOTES.
2. CONTRACTOR TO VERIFY DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL NOTIFY THE UTILITY DEPARTMENT ENGINEER SEVENTY-TWO (72) HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
4. ALL MANHOLE DROP CONNECTIONS SHALL BE OUTSIDE DROPS. INSIDE DROP CONNECTIONS ARE NOT PERMITTED.
5. ANY PROPOSED SANITARY SEWER MANHOLES WITHIN AN OFFSITE EASEMENT SHALL HAVE LOCKING FRAMES AND COVERS.
6. SANITARY SEWER TO MAINTAIN DROP IN SEWER MANHOLE AS FOLLOWS:  
A. 90' - 0.20 FEET  
B. 0' - 0.10 FEET
7. ALL SANITARY SEWER PIPE LENGTH MEASURED FROM CENTER OF STRUCTURE.
8. ALL SANITARY SEWER MAIN SHALL BE SDR 35 PVC OR DUCTILE IRON PIPE.

#### WATER UTILITY NOTES:

1. REFER TO SHEET 2 OF THIS SET FOR CONSTRUCTION NOTES.
2. CONTRACTOR TO VERIFY DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL NOTIFY THE UTILITY DEPARTMENT ENGINEER SEVENTY-TWO (72) HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
4. ALL SHUTDOWNS OR WATER SERVICE INTERRUPTIONS SHALL BE COORDINATED WITH THE TOWNSHIP'S SUPERINTENDENT OF THE WATER AND SEWER UTILITY DEPARTMENT AND SHALL BE LIMITED TO 4 HOUR DURATION.
5. ALL WATER MAINS AND SERVICES SHALL HAVE A MINIMUM EARTH COVER OF FORTY-EIGHT (48) INCHES.
6. INSTALL CONCRETE CRADLE WHEN UTILITY CROSSING CLEARANCE IS 6" OR LESS, AS SHOWN IN DETAILS.
7. TRACER TAPE IS REQUIRED TO BE INSTALLED WITH ALL PVC WATER MAINS.
8. WATER MAIN TO BE C-900 PVC.

### SEWER & WATER UTILITY PLAN 455 MAIN STREET

BLOCK 160 - LOT 13 - TAX MAP SHEET 31

SITUATE IN THE  
TOWNSHIP OF MANTUA, GLOUCESTER COUNTY, NEW JERSEY

*John W. Kornick*  
**JOHN W. KORNICK, P.E.**  
Professional Engineer, New Jersey Lic. No. 2443E04928500

DATE: 06/30/2025  
DESIGN BY: WFR  
DRAWN BY: WFR  
SCALE: 1"=30'  
JOB NO.: PD23-129  
SHEET 12 OF 27

**K2**  
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LOT 6  
BLOCK 160

LOT 8  
BLOCK 160

**MATCHLINE**

**SHEET 12**

30 0 30 60

GRAPHIC SCALE OF FEET

1. REFER TO SHEET 2 OF THIS SET FOR CONSTRUCTION NOTES.
2. CONTRACTOR TO VERIFY DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL NOTIFY THE UTILITY DEPARTMENT ENGINEER SEVENTY-TWO (72) HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
4. ALL MANHOLE DROP CONNECTIONS SHALL BE OUTSIDE DROPS. INSIDE DROP CONNECTIONS ARE NOT PERMITTED.
5. ANY PROPOSED SANITARY SEWER MANHOLES WITHIN AN OFFSITE EASEMENT SHALL HAVE LOCKING FRAMES AND COVERS.
6. SANITARY SEWER TO MAINTAIN DROP IN SEWER MANHOLE AS FOLLOWS:  
A. 9" - 0.20 FEET  
B. 0' - 0.10 FEET

1. REFER TO SHEET 2 OF THIS SET FOR CONSTRUCTION NOTES.
2. CONTRACTOR TO VERIFY DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL NOTIFY THE UTILITY DEPARTMENT ENGINEER SEVENTY-TWO (72) HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
4. ALL SHUTDOWNS OR WATER SERVICE INTERRUPTIONS SHALL BE COORDINATED WITH THE TOWNSHIP'S SUPERINTENDENT OF THE WATER AND SEWER UTILITY DEPARTMENT AND SHALL BE LIMITED TO 4 HOUR DURATION.
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6. INSTALL CONCRETE CRADLE WHEN UTILITY CROSSING CLEARANCE IS 6" OR LESS, AS SHOWN IN DETAILS.
7. TRACER TAPE IS REQUIRED TO BE INSTALLED WITH ALL PVC WATER MAINS.
8. WATER MAIN TO BE C-900 PVC.

**K2**  
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www.K2CEE.com

**SEWER & WATER UTILITY PLAN**  
**455 MAIN STREET**  
BLOCK 160 - LOT 13 - TAX MAP SHEET 31  
SITUATE IN THE  
TOWNSHIP OF MANTUA, GLOUCESTER COUNTY, NEW JERSEY

*John W. Kornick*  
JOHN W. KORNICK, P.E.  
Professional Engineer, New Jersey Lic. No. 24GE04928500

DATE:	06/30/2025
IGN BY:	WFR
OWN BY:	WFR
E:	1"=30'
NO.:	PD23-129
ET	
OF	27