

DEVELOPMENT APPLICATION # \_\_\_\_\_ DATE FILED: \_\_\_\_\_

**Site plan and/or Conditional Use Variance Approval  
Mantua Township**

**1. Instructions:**

- A. The applicant shall submit the following items twenty-eight days prior to the regular meeting of the Land Use Board.
1. Twenty (20) copies of this application form.
  2. The application and escrow fee (see fee form)
  3. Twenty (20) copies of the site plan including all details and materials as required in the municipal Zoning Ordinance.
- B. All requests for conditional uses approval and certain requests for site plan approval require public notice. Pursuant to N.J.S.A. 40:55D-12, those instances requiring public notice include:
1. All requests for conditional use approval.
  2. Site plans involving a variance request and/or preliminary subdivision approval.

See the Land Use Ordinance for applicant's responsibilities for public notice.

2. Owner: LUKOIL NORTH AMERICA

Address: 505 Fifth Avenue, Floor 9

New York, New York

Telephone: \_\_\_\_\_

3. **Authorized Representative: (if different from owner)**

Name: Franklin Land Assoc., LLC

Address: 9010 Overlook Boulevard

Brentwood, Tennessee 37027

Telephone: \_\_\_\_\_

4. **Property Description:**

Location: 120 Bridgeton Pike

Tax Map #: 18 Block: 83 / Lot 6.01 Plate: \_\_\_\_\_

Zoning District: NC - Neighborhood Commercial

5. Proposed land use: Retail facility offering tire sales and installation and sales of miscellaneous autoparts with associated light automotive services (Firestone Store)

6. Description of proposed operations including hours of operation: \_\_\_\_\_

See description supplied with original application.

7. Square feet of enclosed building space: 6,424 sq. ft.  
(if residential, number of dwelling units proposed \_\_\_\_\_)
8. Estimated cost of construction To be determined.
9. Does this application represent a request for simultaneous approval of a variance and/or subdivision, or conditional use? If so, state type of additional approvals being sought.  
Variance for minimum buffer to Residential district, minimum separation between buildings and minimum side yard setback to accessory structure.
10. Has the subject property received previous approval of any development application, i.e. site plan, subdivision, conditional use or variance? \_\_\_\_\_ If so, state the date and type of approval. \_\_\_\_\_

I hereby certify that all answers and information is true to the best of my knowledge.

Date: 10-19-20

Signature: \_\_\_\_\_



**TOWNSHIP OF MANTUA  
CHECKLIST OF MAJOR SUB-DIVISION AND SITE PLANS**

**APPLICABILITY** – See Site Plan, Subdivision definitions in Section 230-7 of the Mantua Code

**CRITERIA:** Section 230-83, Mantua Code (Land Development and Use)

**Section 230-83,B, (1) = Key Map**

  X   To Scale of 1 inch = 2,000 feet or less

**Section 230-83,B, (2) = Title Block**

  X   Names of Project, (Mantua) Township, (Gloucester) County

  X   Name, address of subdivider or developer

  X   Name, address of owner(s) of record

  X   Plan scale

  X   Date of original preparation, subsequent revisions.

**Section 230-83,B, (3) = North Arrow**

**Section 230-83,B, (4) = Proof of Ownership**

  X   Certification that the Applicant owns the property OR

  X   Certification that the Owner has given consent under an option agreement

**Section 230-83,B, (5) = Approval signatures**

  X   Chairman of the Land Use Board

  X   Secretary of the Land Use Board

**Section 230-83,B, (6)**

  X   Tract acreage (to nearest tenth of an acre)

  X   Area within tract to be disturbed.

**Section 230-83,B, (7)**

  X   Names, addresses of property owners within 200 feet of the tract.

**Section 230-83,B, (14) = Existing and proposed lakes, ponds or streams (if any)**

  N/A   Cross-sections of watercourses and/or drainage swales, showing the extent of the floodplain, top of bank, normal water levels, and bottom elevations.

  N/A   The total acreage of the drainage basin of any watercourse running through or adjacent to the tract.

  X   Locations of drainage structures immediately upstream and downstream of the tract.

  X   Hydrologic and hydraulic calculations for existing and proposed drainage structures (detention basins, outfalls, culverts, etc.)

  N/A   Locations of drainage and conservation easements.

  N/A   Locations of stream encroachments floodways and 100 year flood fringe lines.

  N/A   Locations and water levels of existing lakes and ponds on or within 200 feet of the tract.

**Section 230-83,B, (15) = Soil Erosion and Sediment Control (SE/SC Measures)**

  X   Locations of SE/SC measures

  X   Details for SE/SC measures (e.g. haybales)

  X   SE/SC Notes

**Section 230-83,B, (16) = Locations of Existing Structures**

- ☒ Existing and/or proposed front, side, and rear yard setback and distances.  
☒ Indication(s) whether existing structure(s) will be retained or removed.

**Section 230-83,B, (17)**

- ☒ Sizes, heights, and locations of proposed structures, signs, and lighting facilities.

**Section 230-83,B, (18)**

- ☒ Other necessary Area and Yard data (e.g. Lot coverages, floor area ratios, etc.)

**Section 230-83,B, (19)**

- ☒ Locations, mounting heights of lighting facilities.  
☒ Types, power usages of proposed lighting facilities.  
☒ Details, isofootcandle lines for lighting facilities.

**Section 230-83,B, (20) = Landscaping requirements**

- ☒ Buffer zones required along lot, street lines for non-residential lots that abut residential tracts or streets adjacent to residential tracts (per section)  
☒ Landscaping in parking areas (per Section 230-31 B of the Mantua Code.

**Section 230-83,B, (21) = Location/design of off-street parking areas.**

- ☒ Sizes, locations of bays, aisles and barriers.

**Section 230-83,B, (22) = Vehicular Access**

- ☒ Ingress/egress to/from site to public streets.  
☒ Locations of driveways  
☒ Curb cuts for proposed paving

**Section 230-83,B, (23) = Storm Drainage Systems**

- ☒ Existing/proposed storm sewer lines  
☒ Locations, inverts of catch basins, inlets, manholes, culverts, and headwalls.  
☒ Locations of proposed groundwater recharge (retention) basins and detention basins.

**Section 230-83,B, (24) = Existing Utilities**

- ☒ Locations of water and sewer mains.  
☒ Locations of gas transmission mains.  
☒ Locations of high-tension power lines, on tract and within 200 feet of tract.

**Section 230-83,B, (27)**

- ☒ a copy(ies) of any protected covenants or deed restrictions.

**Section 230-83,B, (29) = Additional information (if required by the Land Use Board)**

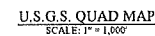
- ☒ Drainage calculations  
☒ Traffic studies  
☐ Other

**Section 230-83,B, (25) = Proposed Improvements and Utilities (if applicable)**

- ☒ Locations, profiles for proposed sewer, storm and water mains.  
☒ Feasible connections to gas, telephone and electrical utility systems.  
☐ N/A Borings, percolation data for proposed on-lot septic systems.

BLOCK 83, LOT 6.01, PLATE 18  
MANTUA TOWNSHIP  
GLOUCESTER COUNTY, NEW JERSEY

Manhasset Township	83	6	07/04/11	0810- 00030000- 00030000- 07/04/11	21 TONKIN ST	MCKENNA, BRUCE R & ELLEN	151 STONESHIRE DR	GLASSBORO, NJ 08033	
Manhasset Township	83	7		0810- 00030000- 00070000- 0000	BRIDGETON PK	NJ DOT	1035 PARKWAY AVE	THORNTON, NJ 08652	
Manhasset Township	83	8		0810- 00030000- 00080000- 0000	BRIDGETON PK	AMERICAN WARRIOR SSC	CBT TAX DEPT FO BOX 5527	CHEERY HILL, NJ 08034	
Manhasset Township	83	9		0810- 00030000- 00000000- 0000	130 BRIDGETON PK	REED, GARY J	130 BRIDGETON PK	MANUTIA, NJ 08051	
Manhasset Township	83	10		0810- 00030000- 00010000- 0000	23 TONKIN ST	TJMA LLC	3007 COTTMAN AVE	PHILADELPHIA PA 19149	
Manhasset Township	83	11		0810- 00030000- 00010000- 0000	25 HILL ST	BIR PROPERTY MANAGEMENT	145 MAIN ST	MANUTIA, NJ 08051	
Manhasset Township	84	1		0810- 00040000- 00000000- 0000	20 TONKIN ST	FRBW, DAVID G & CHRISTINA M	20 TONKIN ST	MANUTIA, NJ 08051	
Manhasset Township	84	2		0810- 00040000- 00003000- 0000	14 TONKIN ST	DELUCA, NICHOLAS & SANDRA J	14 TONKIN	MANUTIA, NJ 08051	
Manhasset Township	84	3		0810- 00040000- 00000000- 0000	140 BRIDGETON PK	140 BRIDGETON VILL OFFICE LLC	1000 B LYNCLON DR SUITE 2	MANUTIA, NJ 08051	
Manhasset Township	84	4		0810- 00040000- 00000000- 0000	150 BRIDGETON PK	STEE, ANDREW J & TANEY, THOMAS C	PO BOX 304	SEWELL, NJ 08060	
Manhasset Township	84	15		0810- 00040000- 00000000- 0000	28 TONKIN ST	WALKER, ROBERT & WASSEL, JIMMIE B	28 TONKIN ST	MANUTIA, NJ 08051	
Manhasset Township	85	1		0810- 00050000- 00001000- 0000	145 BRIDGETON PK	COOK, JAMES G & LINDA E	2 E CHERRY ST	WENONAH, NJ 08090	
Manhasset Township	85	1.01		0810- 00050000- 00001001- 0000	145 BRIDGETON PK	COOK, JAMES G & LINDA E	2 E CHERRY ST	WENONAH, NJ 08090	
Manhasset Township	88	1		0810- 00050000- 00001000- 0000	23 MAIN ST	HOLLAND, NATHANIEL JR & SUZANNE W	23 MAIN ST	MANUTIA, NJ 08051	
Manhasset Township	83	1		0810- 00050000- 00070000- 0000	101 & 105 BRIDGETON PK	MORRIS, GEORGE	101 BRIDGETON PK	MANUTIA, NJ 08051	9
Manhasset Township	89	6		0810- 00090000- 00000000- 0000	9 MARTEL ST	WATERS, KENNETH R & COLLEEN M	7 MAIN ST	MANUTIA, NJ 08051	
Manhasset Township	89	2		0810- 00090000- 00000000- 0000	7 MAIN ST	WATERS, KENNETH R	7 MAIN ST	MANUTIA, NJ 08051	



PREPARED BY:

497 Center Street • Sewell, NJ 08080  
Tel: 856-464-9600 Fax: 856-464-9606  
[www.pettitgroup.com](http://www.pettitgroup.com)


1	OF 13	COVER SHEET & INDEX OF DRAWINGS
2	OF 13	EX. CONDITIONS & DEMOLITION PLAN
3	OF 13	SITE CONTEXT PLAN
4	OF 13	SITE PLAN
5	OF 13	GRADING & UTILITY PLAN
6	OF 13	LANDSCAPING PLAN
7	OF 13	LIGHTING PLAN
8	OF 13	SOIL EROSION & SEDIMENT CONTROL PLAN
9	OF 13	SESC NOTES AND DETAILS
10	OF 13	TREE PROTECTION MANAGEMENT PLAN
11	OF 13	CONSTRUCTION DETAILS
12	OF 13	CONSTRUCTION DETAILS
13	OF 13	CONSTRUCTION DETAILS

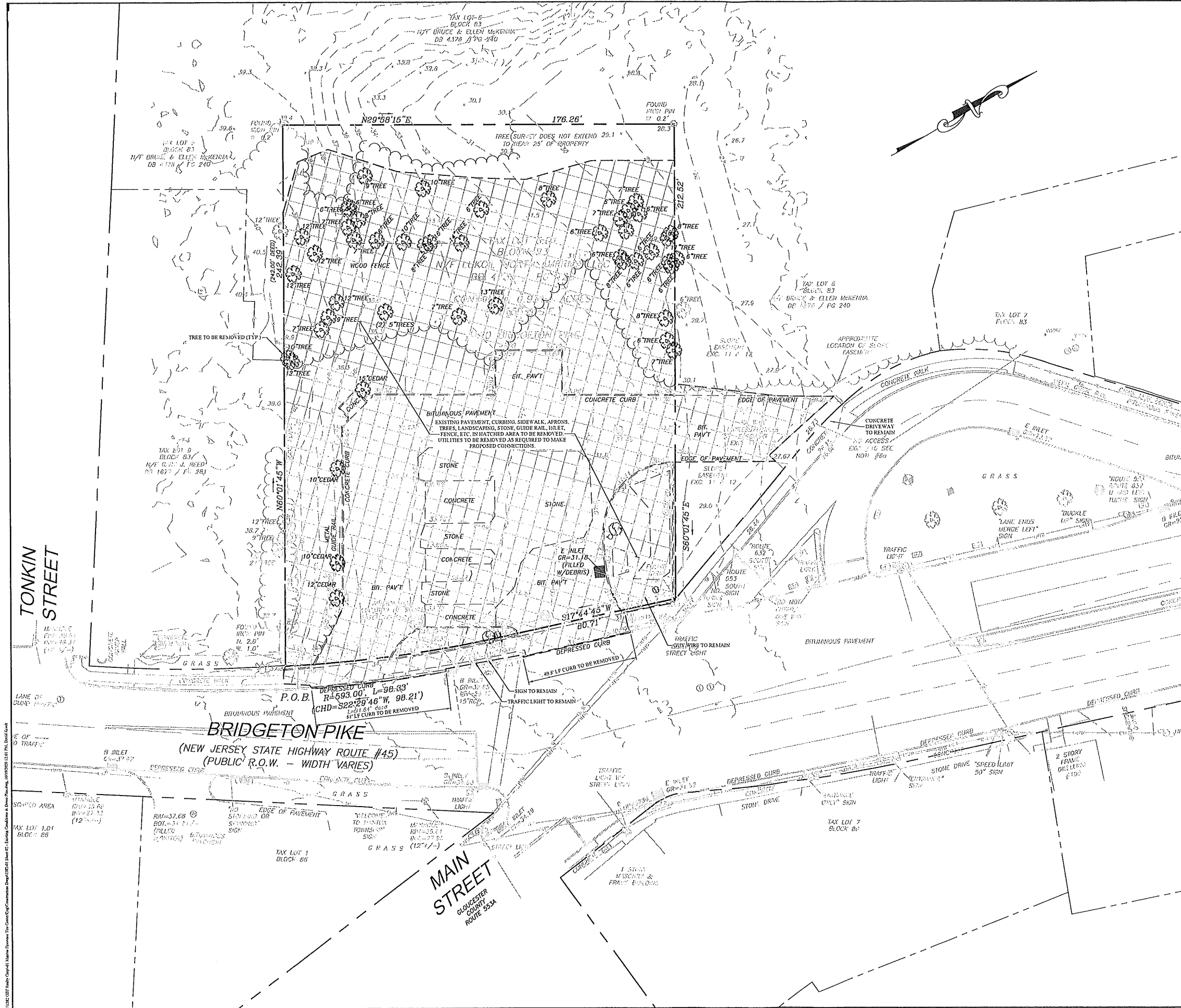
**BRIAN W. CLEARY, P.E.**  
Professional Engineer  
State of New Jersey • License # JE 51748  
State of Pennsylvania • License # PE201074  
State of Maryland • License # 14431  
State of North Carolina • License # 048762

SHEET TITLE:

COVER SHEET

SHEET NUMBER:  
1 of 13

  
**THE PETTIT GROUP, LLC**  
Engineering • Architecture • Planning  
497 Center Street • Sewell, NJ 08080  
Tel: 856-464-9600 Fax: 856-464-9606  
[www.pettitgroup.com](http://www.pettitgroup.com)  
Certificate of Authorization No. 24CA28131400



DEMOLITION & STRUCTURAL FILL NOTES:

1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN TAKEN FROM VARIOUS SOURCES AND IS SHOWN FOR DESIGN AND ESTIMATING PURPOSES ONLY. ACTUAL LOCATIONS OF UTILITIES SHALL BE FIELD VERIFIED BY CONTRACTOR. ANY DISCREPANCIES OR APPARENT CONFLICTS SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER FOR INTERPRETATION. DISCREPANCIES SHALL BE REPORTED TO ENGINEER IN WRITING PRIOR TO ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS & UTILITIES. A WRITTEN NOTICE SHALL BE FORWARDED TO THE OWNER SETTING FORTH THE DATE OF CONTACT. CONTRACTORS ARE ADVISED TO CALL 1-800-272-1000 BEFORE COMMENCING FOR A MARKOUT OF EXISTING UTILITIES.
2. CONTRACTOR SHALL REVIEW ALL PLAN SHEETS TO DETERMINE IF THE EXTENT OF IMPROVEMENTS TO BE REMOVED, AS INDICATED ON THIS PLAN, IS CORRECT. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER DURING THE BID PHASE.
3. CONTRACTOR TO NOTIFY ALL UTILITY COMPANIES PRIOR TO DEMOLITION.
4. CONTRACTOR TO COORDINATE ALL UTILITY REMOVAL(S) AND SHUT-OFF(S) (TYPICAL).
5. CONTRACTOR TO COORDINATE WITH ALL APPLICABLE AGENCIES DURING THE DEMOLITION OF EXISTING BUILDINGS.
6. TEST PITS SHALL BE EXCAVATED PRIOR TO CONSTRUCTION TO LOCATE UNDERGROUND UTILITIES.
7. ANY REQUIRED UTILITY POLE RELOCATIONS FOR THE PROPOSED IMPROVEMENTS SHALL BE COMPLETED AT NO EXTRA COST TO THE OWNER. CONTRACTOR SHALL PROVIDE ALL NECESSARY ARRANGEMENTS FOR UTILITY POLE RELOCATION.
8. THE CONTRACTORS ARE ADVISED THAT ANY REQUIRED UNDERGROUND UTILITY RELOCATIONS INCLUDING GAS MAINS AND SERVICES, WATER MAINS AND SERVICES, SEWER MAINS AND SERVICES, ELECTRIC AND TELEPHONE LINES SHALL BE COMPLETED AT NO COST TO THE OWNER UNLESS SPECIFICALLY NOTED OTHERWISE.
9. EXISTING UTILITIES INCLUDING VALVE BOXES, CLEAN OUTS, CURB STOPS, MANHOLES, ETC. SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED GRADE. STORM DRAINAGE STRUCTURES SHALL NOT BE ADJUSTED UNLESS SPECIFICALLY CALLED FOR. NO TRENCHES SHALL REMAIN OPEN OVERNIGHT.
10. SUPPORT AND STABILIZATION OF REMAINING STRUCTURES SHALL CONFORM TO IRC 209.
11. ALL DEMOLITION TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
12. NO DISTURBANCES SHALL BE PERMITTED BEYOND THE PROJECT PROPERTY LINE WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNER(S) DIRECTLY AFFECTED.
13. CONTRACTOR SHALL CLEAN ADJACENT STRUCTURES AFFECTED BY DEMOLITION. CONTRACTOR TO RETURN ADJACENT AREAS TO CONDITIONS EXISTING PRIOR TO START OF WORK.
14. THE CONTRACTOR SHALL PROPERLY DISPOSE OF SPOILS AND EXCAVATED MATERIALS. NO CONSTRUCTION DEBRIS, CUT VEGETATION, TREE STUMPS OR ANY OTHER SOLID WASTE EXISTING ON SITE IS TO BE BURIED ON SITE. NO ON SITE BURIAL OR BURNING OF CONSTRUCTION DEBRIS IS PERMITTED. ALL WASTE MUST BE PROPERLY REMOVED AND DISPOSED OFF SITE. ALL MATERIALS REMOVED FROM SITE ARE TO BE DISPOSED OF AT AN APPROVED FACILITY.
15. EXISTING TOPSOIL ON SITE IS TO BE PROTECTED. NO TOPSOIL IS TO BE SOLD OR REMOVED FROM THE SITE OR USED AS SPOIL UNLESS APPLICATION IS MADE TO THE APPROVING AUTHORITY AND APPROVAL IS GRANTED.
16. PROJECT SITE TO BE CLEARED ONLY AS REQUIRED. EXISTING TREES SHALL BE PROTECTED ALONG WITH ALL EXCAVATION AND CONSTRUCTION LIMITS.
17. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIAL SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
18. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURES TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF DESIGNATED DEMOLITION. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DESIGNATED DEMOLITION THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY APPLICABLE UTILITY COMPANIES TO ENSURE CONTINUATION OF SERVICE.
19. EXISTING WELLS SHALL BE ABANDONED BY A CERTIFIED WELL DRILLER, IN ACCORDANCE WITH ALL LOCAL, COUNTY, OR STATE REGULATIONS. EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED IN ACCORDANCE WITH ALL LOCAL, COUNTY, OR STATE REGULATIONS.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION OF ALL UTILITIES TO BE REMOVED. ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH LOCAL MUNICIPAL & MUA SPECIFICATIONS.
21. IF NOTED TO BE REMOVED, EXISTING BUILDING SHALL BE DEMOLISHED INCLUDING ALL BASEMENT FOOTINGS AND FOUNDATION WALLS & MATERIALS. BASEMENT MATERIAL SHALL BE REMOVED FROM SITE AND NOT USED FOR FILL.
22. THE ON-SITE SOILS WHICH ARE EXCAVATED FOR SITE GRADING MAY BE USED AS STRUCTURAL FILL FOR SUPPORT OF SLAB-ON-GRADE AND PAVEMENT. HOWEVER, THESE SOILS CONTAIN AN APPRECIABLE AMOUNT OF FINES AND WILL BE MOISTURE SENSITIVE. THEREFORE, USAGE OF THE ON-SITE SOIL WILL BE LIMITED TO PERIODS OF WARM AND/OR DRY WEATHER. IF OFF-SITE MATERIALS ARE REQUIRED FOR FILL, CRUSHED STONE OR RECYCLED CRUSHED CONCRETE MEETING THE MINIMUM REQUIREMENTS OF MDOT COURSE AGGREGATE NO. 2 SHOULD BE USED.
23. STRUCTURAL FILL SHOULD BE PLACED IN HORIZONTAL LIFTS NOT MORE THAN 6 INCHES IN LOOSE THICKNESS. WITHIN THE BUILDING AREA, THE FILL SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED BY THE "MODIFIED PROCTOR" COMPACTION TEST, ASTM D 1557. ALTERNATIVELY, EACH LIFT OF IMPORTED CRUSHED STONE SHOULD BE COMPACTED TO AT LEAST 95 PERCENT RELATIVE DENSITY AS DETERMINED BY ASTM D 4253/4254, OR THE US ARMY CORPS OF ENGINEERS MODIFIED PROVIDENCE VIBRATED DENSITY TEST. THE RELATIVE DENSITY METHOD IS USED FOR FREE-DRAINING SOILS WHICH TO NOT EXHIBIT A WELL-DRAINED PEAK IN THE PROCTOR TEST, OR WHICH BREAK DOWN EXCESSIVELY UNDER THE TEST RAMMER. STRUCTURAL FILL SHOULD BE COMPACTED USING A SELF-PROPELLED, VIBRATORY ROLLER WHICH IMPARTS A TOTAL DYNAMIC FORCE OF AT LEAST 300 POUNDS PER INCH OF DRUM LENGTH. IN CONFINED AREAS, WHERE SMALLER ROLLERS OR MANUALLY OPERATED TAMPERS ARE USED, THE LIFT THICKNESS SHOULD BE REDUCED TO 6 INCHES.
24. BACKFILL AROUND THE EXTERIOR OF THE BUILDING, AND FILL IN PAVEMENT AREAS SHOULD BE COMPACTED TO AT LEAST 90 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY. ON-SITE SOIL MAY BE USED FOR EXTERIOR BACKFILL.

**THE PETTIT GROUP, LLC**  
Engineering • Architecture • Planning  
497 Center Street • Sewell, NJ 08080  
Tel: 856-464-9600 Fax: 856-464-9606  
www.pettitgroup.com  
Certificate of Authorization No. 246CA28131400

REVISIONS		
NO.	DESCRIPTION	DATE
1	PER CLIENT REVIEW	09/19/19
2	PER BOARD PROFESSIONAL REVIEWS	10/19/20

FOR APPROVAL  
PURPOSES ONLY

ALL DOCUMENTS PREPARED BY THE PETTIT GROUP, LLC ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE PETTIT GROUP, LLC. THE PETTIT GROUP, LLC AND ITS EMPLOYEES SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CLIENT. THE PETTIT GROUP, LLC AND ITS EMPLOYEES SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE PETTIT GROUP, LLC AND ITS EMPLOYEES SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY ANY OTHER PARTY.

DESIGNED BY:	BWC	JOB NO.	1582-01
DRAWN BY:	MD	DATE:	08/29/19
CHECKED BY:	BWC	SCALE:	1" = 20'

PRELIMINARY/FINAL  
MAJOR SITE PLAN

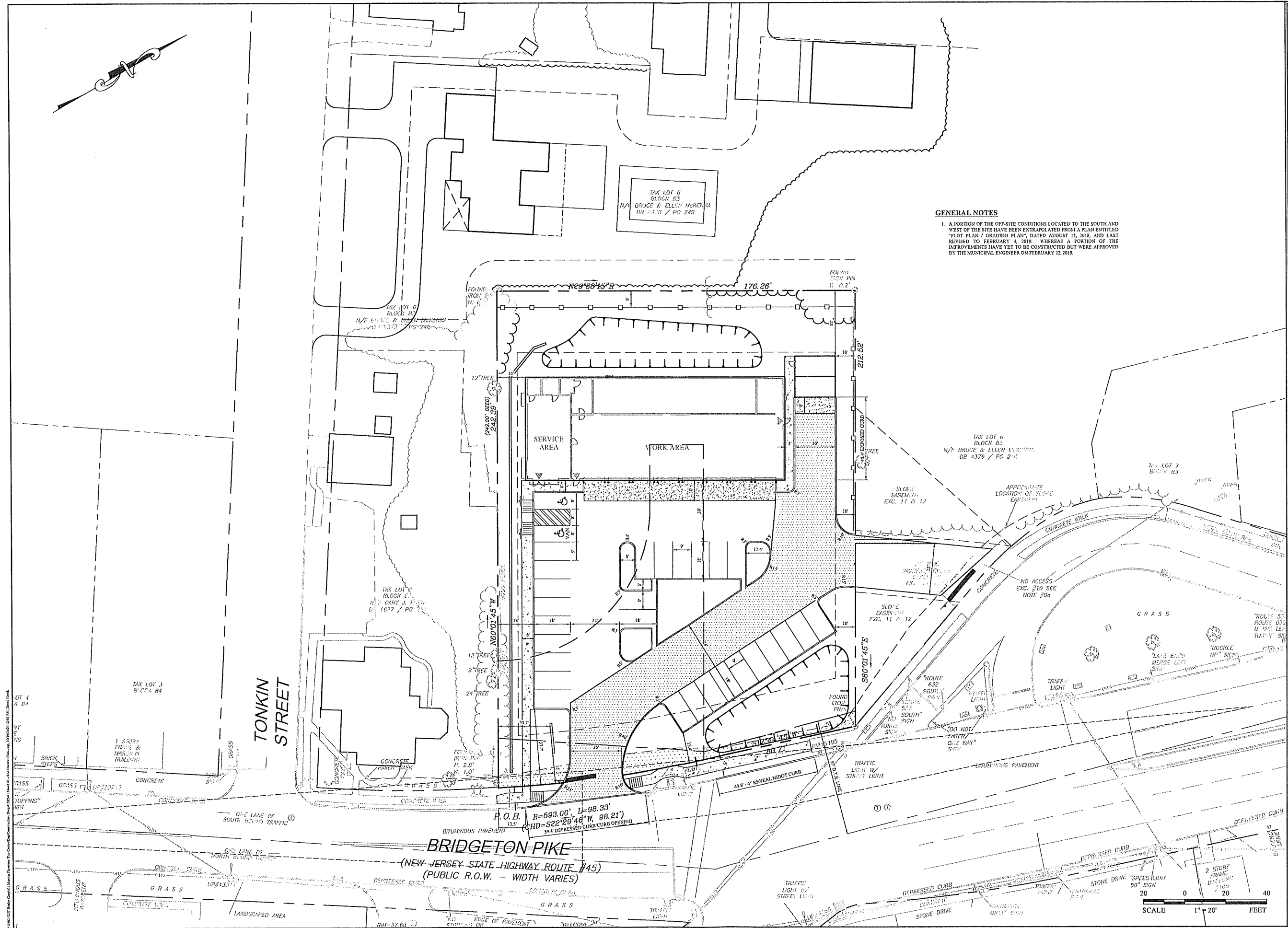
120 BRIDGETON PIKE  
BLOCK 83, LOT 6.01, PLATE 18  
MANTUA TOWNSHIP  
GLOUCESTER COUNTY  
NEW JERSEY

FOR  
FRANKLIN LAND ASSOC., LLC  
9010 OVERLOOK BOULEVARD  
BRENTWOOD, TENNESSEE 37027

**Brian W. Cleary, PE**  
Professional Engineer  
State of New Jersey • License # GE 51748  
State of Pennsylvania • License # PE081074  
State of Maryland • License # 94411  
State of North Carolina • License # 045763

EX. CONDITIONS  
& DEMOLITION  
PLAN

2 of 13



### GENERAL NOTES

[illegible]

ALL DOCUMENTS PREPARED BY THE PETTIT GROUP, LLC ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT INTENDED OR BELIEVED TO BE CONTRACTS, AGREEMENTS, OR OTHERS, OR EXTENSIONS OF THE PROJECT OR ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION BY THE PETTIT GROUP, LLC FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT THE OWNERS SOLE RISK AND WITHOUT LIABILITY OF LEGAL EXPENSE TO THE PETTIT GROUP, LLC AND OWNER. SHALL INDEMNIFY AND HOLD HARMLESS THE PETTIT GROUP, LLC FROM CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

DESIGNED BY: BWC	JOB NO. 1582-01
DRAWN BY: ND	DATE 06/24/19
CHECKED BY: BWC	SCALE: 1" = 20'

PRELIMINARY/FINAL  
MAJOR SITE PLAN

FOR  
FRANKLIN LAND ASSOC., LLC  
9010 OVERLOOK BOULEVARD  
BRENTWOOD, TENNESSEE 37027

**Brian W. Cleary, PE**  
Professional Engineer  
State of New Jersey - License # GE 51748  
State of Pennsylvania - License # PE081074  
State of Maryland - License # 54411  
State of North Carolina - License # 048763







OFF-SITE TOPOGRAPHY, BEYOND THE LIMITS OF THE SURVEY TOPOGRAPHY, TAKEN FROM LIDAR

SHOULD THESE PLANS NOT DEPICT THE PROPOSED ELECTRIC, GAS, AND TELECOM UTILITY SERVICE DESIGNS, THE CONTRACTOR SHALL COORDINATE THE SCOPE OF THE PROPOSED UTILITY SERVICE DESIGNS IN CONSULTATION WITH THE RESPECTIVE UTILITY PROVIDERS AND SHALL ENSURE THAT THE INSTALLATION OF ELECTRIC, GAS, AND TELECOM UTILITY SERVICES ARE ADDRESSED WITHIN THE SCOPE OF THEIR BID.

SHOULD THESE PLANS DEPICT FEASIBLE LOCATIONS FOR PROPOSED ELECTRIC, GAS, AND TELECOM UTILITY SERVICE DESIGNS, THE CONTRACTOR SHALL NOTE THAT THE FINAL UTILITY SERVICE DESIGNS MUST BE COORDINATED WITH THE RESPECTIVE UTILITY PROVIDERS AND THEREFORE, ARE SUBJECT TO CHANGE BASED UPON THE PREFERENCE OF THE UTILITY PROVIDER.

#### GRADING & UTILITY NOTES:

1. ALL GRADING SHALL PROMOTE POSITIVE DRAINAGE FROM BUILDINGS AND STRUCTURES TO DRAINAGE FACILITIES WITHOUT LOW SPOTS THAT CAUSE PONDING.
2. THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 2% AND THE MINIMUM IN PAVED AREAS SHALL NOT BE LESS THAN 0.75%.
3. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES SHOWN. THE CONTRACTOR SHALL EMPLOY ALL MEANS NECESSARY, INCLUDING TEST PITS, TO LOCATE AND AVOID DAMAGE TO ALL EXISTING UTILITIES WITHIN THE VICINITY OF THE PROPOSED IMPROVEMENTS. SHOULD ANY EXISTING UTILITY BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS, THE CONTRACTOR SHALL REPORT THE CONFLICT TO THE DESIGN ENGINEER PRIOR TO PROCEEDING WITH ANY CONSTRUCTION.
4. ALL ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION AND OTHER PUBLIC UTILITY LINES SHALL BE INSTALLED UNDERGROUND. MINIMUM HORIZONTAL CLEARANCE BETWEEN PUBLIC UTILITY LINES AND WATER OR SEWER MAINS SHALL BE THREE (3) FEET.
5. THE CONTRACTOR SHALL BACKFILL HIS TRENCH AND PROTECT THE PUBLIC FROM THE WORK AREA AT THE END OF EACH WORKING DAY. NO TRENCHES SHALL REMAIN OPEN OVERNIGHT.
6. ALL GRAVITY SANITARY SEWER MAINS AND LATERALS SHALL BE PVC PIPE, SDR-35 CONFORMING TO ASTM D-3034 WITH PUSH-ON JOINTS, UNLESS OTHERWISE SPECIFIED. MINIMUM COVER OVER PVC AND DUCTILE IRON SANITARY SEWER MAINS AND LATERALS SHALL BE THREE (3) FEET. ALL SEWERS SHALL BE CONSTRUCTED WITH BEDDING AS DETAILED.
7. WATER MAINS AND SANITARY SEWER SHALL BE SEPARATED BY 10 FEET HORIZONTALLY WHEREVER POSSIBLE. OTHERWISE, THE SEWER AND WATER SHALL BE IN SEPARATE TRENCHES WITH THE SEWER 18" BELOW THE BOTTOM OF THE WATER MAIN. AT WATER AND SEWER CROSSINGS, THE SEWER SHALL BE 18" MINIMUM BELOW THE WATER OR SEWER MAIN SHALL BE C.D.I.P. WITH SLIP-ON JOINTS AND ENCASED IN CONCRETE FOR 10 FEET MINIMUM ON EACH SIDE OF THE CROSSING. WHERE SANITARY SEWER CROSS OVER OR WITHIN 18" UNDER A STORM PIPE, THE SANITARY SEWER SHALL BE C.D.I.P. WITH SLIP-ON JOINTS AND ENCASED IN CONCRETE FOR 10 FEET EACH SIDE OF THE CROSSING.
8. REINFORCED CONCRETE PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED.
9. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
10. CLEAN OUTS AND CURB BOXES WITHIN THE PAVED AREAS MUST HAVE TRAFFIC LOADING FRAMES AND COVERS.
11. ALL INLET GRATES SHALL BE BICYCLE-SAFE GRATES.
12. CONSTRUCTION OF THE PROPOSED INFILTRATION BASIN SHALL BE DONE WITHOUT COMPACTING THE BASIN'S SUB-GRADE SOILS. ALL EXCAVATION SHALL BE PERFORMED BY EQUIPMENT PLACED OUTSIDE THE BASIN WHENEVER POSSIBLE.
13. ADA GRADING NOTE: ALL HANDICAPPED ACCESSIBLE AREAS SHALL BE GRADED WITH A 2% MAXIMUM SLOPE.
14. SHOULD THE BUILDING REQUIRE A BACK-FLOW PREVENTER, IT SHALL BE INSTALLED WITHIN THE PROPOSED BUILDING.
15. NO OPEN TRENCH IS PERMITTED FOR ANY UTILITY CONNECTION IN THE MIDDLE RIGHT-OF-WAY. ONLY JACK AND BORING, OR DRILLING METHOD, IS PERMITTED.

**THE PETTIT GROUP, LLC**  
Engineering • Architecture • Planning  
497 Center Street • Sewell, NJ 08080  
Tel: 856-464-9600 Fax: 856-464-9606  
www.pettitgroup.com  
Certificate of Authorization No. 24CA28131400

REVISIONS		
NO.	DESCRIPTION	DATE
1	PER CLIENT REVIEW	05/15/19
2	PER BOARD PROFESSIONAL REVIEW	05/15/19

#### FOR APPROVAL PURPOSES ONLY

ALL DOCUMENTS PREPARED BY THE PETTIT GROUP, LLC ARE THE PROPERTY OF THE PETTIT GROUP, LLC. THEY ARE NOT TO BE REPRODUCED OR REAPPROPRIATED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE PETTIT GROUP, LLC. THE PETTIT GROUP, LLC ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY, OR FOR ANY INJURY OR LOSS OF LIFE OR LIMB, ARISING OUT OF OR RESULTING FROM THE USE OF ANY INFORMATION OR DATA PROVIDED BY THE PETTIT GROUP, LLC TO ANY OTHER PARTY, OR FOR ANY INJURY OR LOSS OF LIFE OR LIMB, ARISING OUT OF OR RESULTING FROM THE USE OF ANY INFORMATION OR DATA PROVIDED BY THE PETTIT GROUP, LLC TO ANY OTHER PARTY.

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS, LOCATIONS, AND DEPTHS OF ALL EXISTING UTILITIES, AND THE LOCATION OF UTILITIES SHOWN ON THE PLANS ARE ONLY APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES (AERIAL AND BURIED) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE UNDERGROUND UTILITY MARKING SERVICE (800-488-7829) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO MARK AND PROTECT ALL EXISTING UTILITIES RESULTING FROM HIS WORK.

DESIGNED BY: BWC	JOB NO. 1592-01
DRAWN BY: ND	DATE 05/31/19
CHECKED BY: BWC	SCALE 1" = 20'

#### PRELIMINARY/FINAL MAJOR SITE PLAN

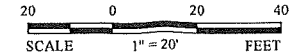
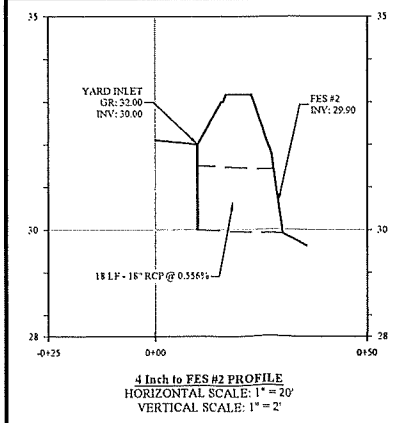
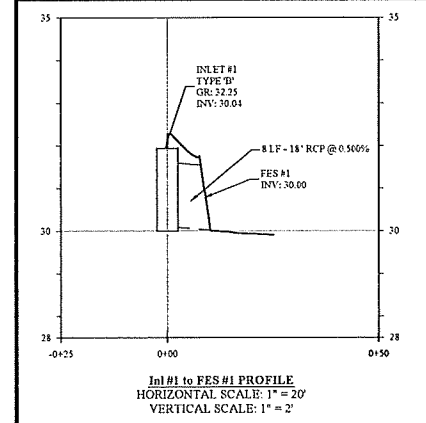
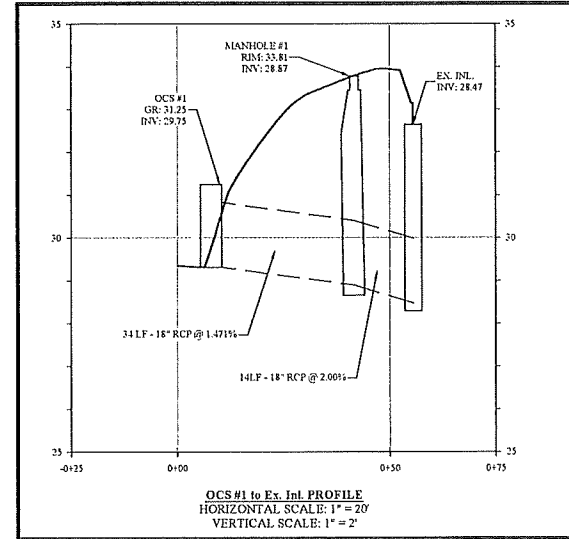
120 BRIDGETON PIKE  
BLOCK 83, LOT 6.01, PLATE 18  
MANTUA TOWNSHIP  
GLOUCESTER COUNTY  
NEW JERSEY

FOR  
FRANKLIN LAND ASSOC., LLC  
9010 OVERLOOK BOULEVARD  
BRENTWOOD, TENNESSEE 37027

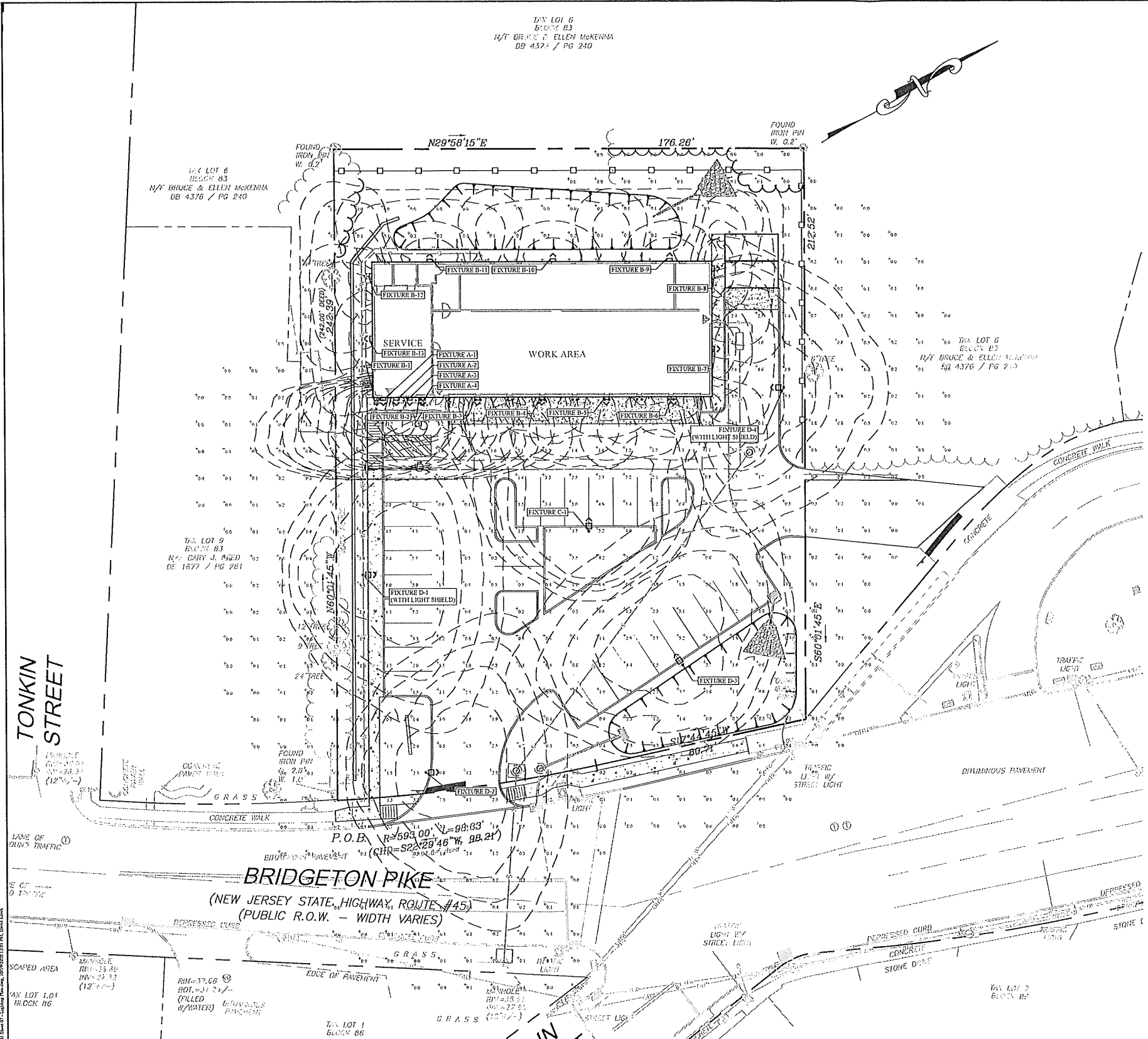
**Brian W. Cleary, PE**  
Professional Engineer  
State of New Jersey • License # GE 51748  
State of Pennsylvania • License # PE081074  
State of Maryland • License # 34111  
State of North Carolina • License # 048763

#### GRADING & UTILITY PLAN

SHEET NUMBER:  
**5 of 13**



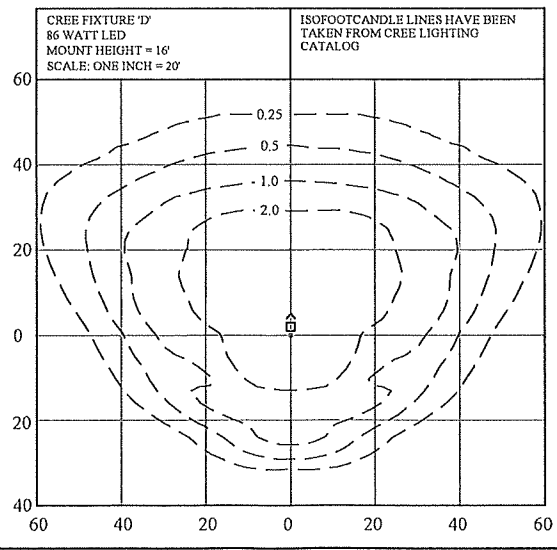
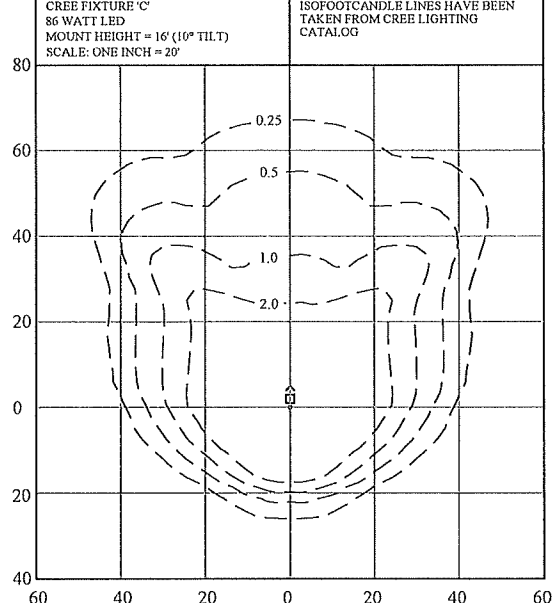
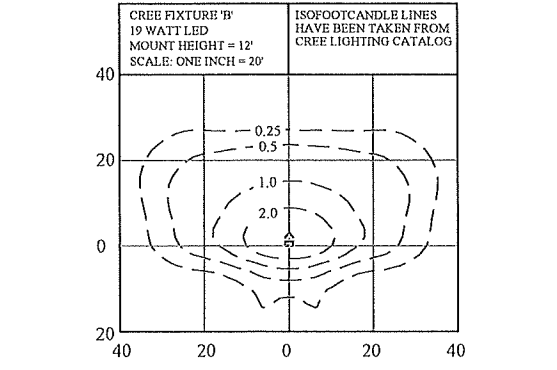
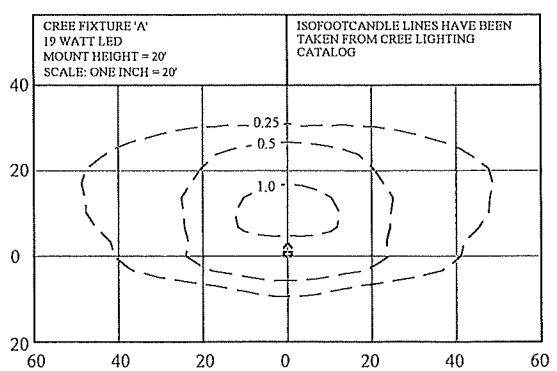
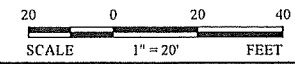




Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Height	Wattage
⬆	A	4	Cree Inc	NSPW-B-W-2ME-2L-40K-UL	CONFIGURED FROM NSPW Wall Mount, Type II Medium Distribution, 40,000K CCT	CONFIGURED FROM (4) MDA SA 1400	1	20'	19
⬆	B	12	Cree Inc	NSPW-B-W-3ME-2L-40K-UL-WH	CONFIGURED FROM NSPW Wall Mount, Type III Medium Distribution, 40,000K CCT	CONFIGURED FROM 4 MDA	1	12'	19
⬆	C	1	Cree Inc	OSQ-A-XX-4ME-B-57K-UL-XXXX	Cree OSQ Series Area Luminaire, Type IV Medium Distribution, 5700K Input Power Designator, 5700K	CONFIGURED FROM Eight Cree MDA LEDs	1	16'	86
⬆	D	4	Cree Inc	OSQ-A-XX-3ME-B-57K-UL-XXXX	Cree OSQ Series Area Luminaire, Type III Medium Distribution, 5700K Input Power Designator, 5700K	CONFIGURED FROM Eight Cree MDA LEDs	1	16'	86

Statistics									
Description	Symbol	Avg	Max	Min	Max/Min	Avg/ft	Symbol	Avg	Max
Pathway	+	2.6 f	7.4 f	0.2 f	37.0:1	18.8 f			
Sidewalk	+	8.9 f	32.0 f	0.7 f	45.7:1	12.7 f			
Site	+	1.1 f	49.2 f	0.0 f	N/A	N/A			

- LIGHTING NOTES:**
- THIS PLAN ILLUSTRATES LUMINAIRE LOCATIONS AND ILLUMINATION LEVELS ONLY. REFER TO ELECTRICAL ENGINEERING PLANS FOR CIRCUITRY DESIGN AND SPECIFICATIONS.
  - ALL SUBSTITUTIONS TO THE FIXTURES SPECIFIED MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE FIXTURE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.
  - FIXTURES ALONG THE PROPERTY LINES SHALL HAVE LIGHT SHIELDS.
  - ALL LIGHTS SHALL BE REGULATED WITH A TIMER.
  - PHOTOMETRIC DATA SHOWN IS MAINTAINED.



**THE PETIT GROUP, LLC**  
Engineering • Architecture • Planning  
497 Center Street, Sewell, NJ 08080  
Tel: 856-464-9600 Fax: 856-464-9606  
www.petitgroup.com  
Certificate of Authorization No. 24CA28131400

REVISIONS		
NO.	DESCRIPTION	DATE
1	PER CLIENT REVIEW	6/19/19
2	PER BOARD PROFESSIONAL REVIEW	10/19/19

**FOR APPROVAL PURPOSES ONLY**

ALL DOCUMENTS PREPARED BY THE PETIT GROUP, LLC ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT TO BE REPRODUCED OR REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE PETIT GROUP, LLC. THE PETIT GROUP, LLC AND ITS EMPLOYEES SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE OWNER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL UNDERSTAND THAT THE LOCATION OF UTILITIES SHOWN ON THIS PLAN ARE ONLY APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES (AIRIAL AND BORED) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE UNDERGROUND UTILITY MARK-OUT SERVICE (800-250-0000) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR (AT HIS EXPENSE) ALL DAMAGED UTILITIES RESULTING FROM HIS WORK.

DESIGNED BY: BWC	JOB NO. 1592-01
DRAWN BY: JCD	DATE: 05/23/19
CHECKED BY: BWC	SCALE: 1" = 20'

**PRELIMINARY/FINAL MAJOR SITE PLAN**  
120 BRIDGETON PIKE  
BLOCK 83, LOT 6.01, PLATE 18  
MANTUA TOWNSHIP  
GLOUCESTER COUNTY  
NEW JERSEY

FOR  
FRANKLIN LAND ASSOC., LLC  
9010 OVERLOOK BOULEVARD  
BRENTWOOD, TENNESSEE 37027

*Brian W. Cleary*  
**BRIAN W. CLEARY, PE**  
Professional Engineer  
State of New Jersey • License # GE 51748  
State of Pennsylvania • License # PE081074  
State of Maryland • License # 54411  
State of North Carolina • License # 048763

**LIGHTING PLAN**  
SHEET NUMBER  
**7 of 13**

### SOIL COMPACTION TESTING REQUIREMENTS

1. **SURGRADE SOLIDS PRIOR TO THE APPLICATION OF TOPSOIL**, (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A MINIMUM OF 10 INCHES TO MAINTAIN THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. **AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED** ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. **COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN.** A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO LOCATE TEST LOCATIONS OF THE FIELD. THE FIELD TESTING REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT, THIS FORM MUST BE FILLED OUT AND SIGNED BY THE USER PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. **IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS** (SEE DETAILS BELOW), THE FOLLOWING ACTIONS SHOULD BE TAKEN TO PREVENT EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS) OR (2) PERFORMING A DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. A DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

#### A. PROBING WIRE TEST (SEE DETAIL)

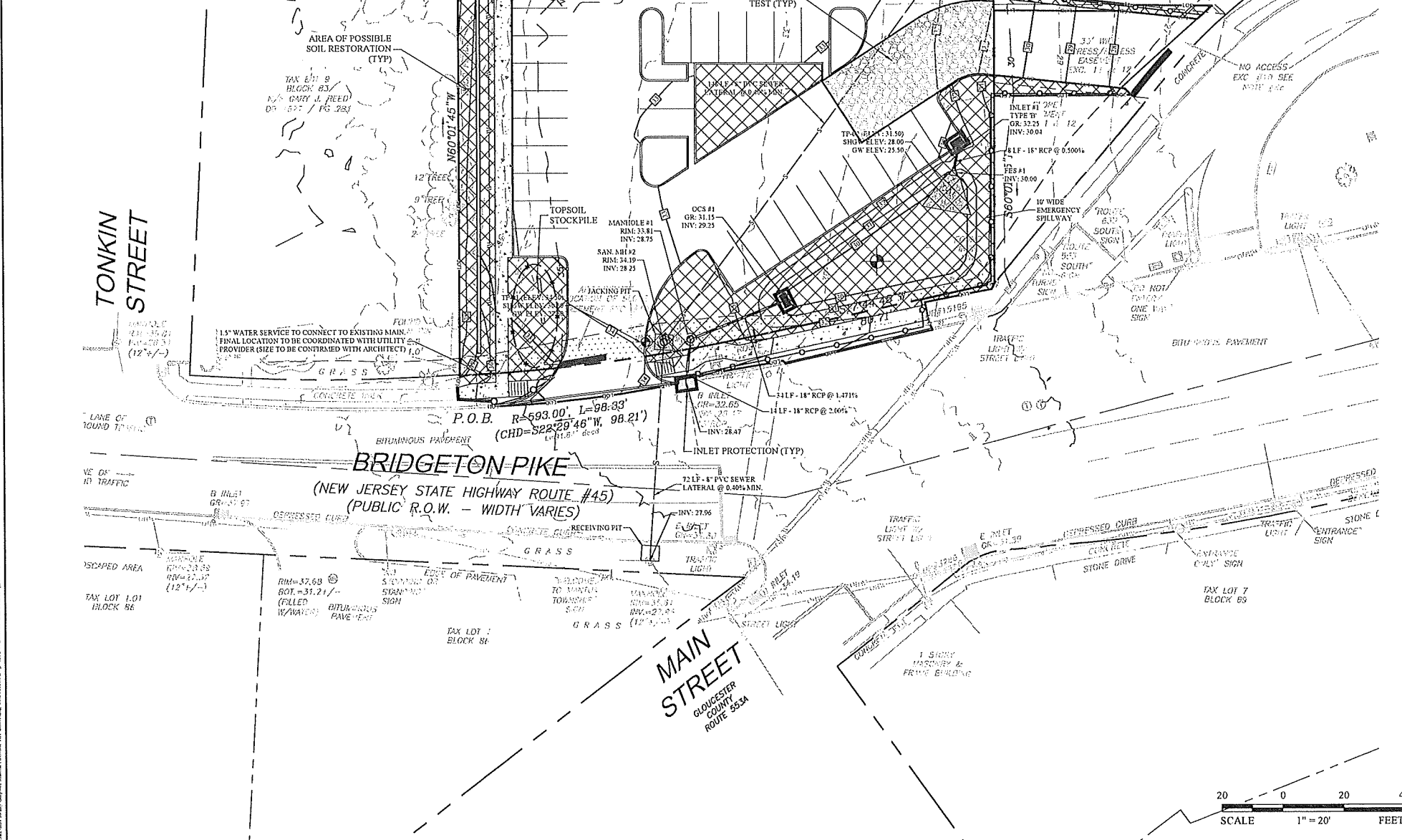
- D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)


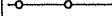
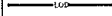






NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

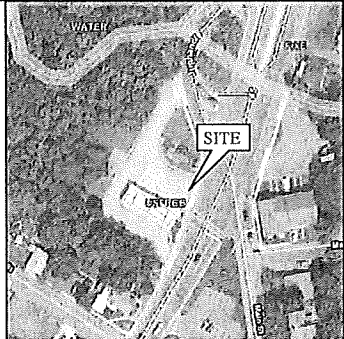
SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

1. PROCEDURES SHALL BE USED TO MITIGAT

2. RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.



LEGEND	
	SILT FENCE
	FILTER SOCK
	LIMIT OF DISTURBANCE
	CONSTRUCTION ENTRANCE
	TOPSOIL STOCKPILE
	INLET PROTECTION
	SCOUR HOLE
	POSSIBLE SOIL RESTORATION AREA
	SOIL COMPACTION TEST



SOILS MAP  
NOT TO SCALE

SITE SOILS		
NAME	SYMBOL	DESCRIPTION
URBAN LAND-FREEHOLD COMPLEX	USFREC	0 TO 5 PERCENT SLOPES

TOTAL AREA OF DISTURBANCE: 0.966 ACRES (42,075 SF)

## REVISIONS

[illegible]

FOR APPROVAL  
PURPOSES ONLY

ALL DOCUMENTS PREPARED BY THE FETTING GROUP, LLC ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT THEY ARE PUT INTENDED OR HEREINAFTER TO BE SUFFICIENT FOR REUSE BY OWNER OR OTHERS TO EXTENSIONS OF THE PROJECT OR ANY OTHER PROJECT ANY REUSE WITHOUT WRITTEN PERMISSION BY THE FETTING GROUP, LLC FOR THE SPECIFIC PURPOSES INTENDED WILL BE AT THE OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO THE FETTING GROUP, LLC AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE FETTING GROUP, LLC FROM CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

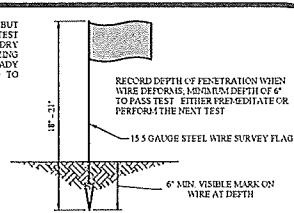
THE CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE OWNER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL UNDERSTAND THAT THE LOCATION OF UTILITIES SHOWN ON THE PLANS IS ONLY APPROXIMATE. IT IS IMPORTANT TO NOTE THAT NOT ALL UTILITIES MAY BE SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES (AERIAL AND BURIED) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE UNDERGROUND UTILITY MARK OUT (1-800-475-7269) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR AT HIS EXPENSE ALL DAMAGED UTILITIES RESULTING FROM HIS WORK.

RIP RAP CALCULATIONS								
DISCHARGE FROM	Q (cfs)	YEAR STORM	"D <sub>50</sub> " ft	L <sub>50</sub> ft	"W" <sub>1</sub> " ft	"W" <sub>2</sub> " ft	"D <sub>50</sub> " in	THICKNESS in
FES #1	122	25	1.5	11.75	4.50	16.25	4.0	8.0
FES #2	0.46	25	1.5	11.00	4.50	13.50	4.0	8.0

\* AN APPROPRIATE GEOTEXTILE FILTER MUST BE INSTALLED BELOW THE RIP RAP

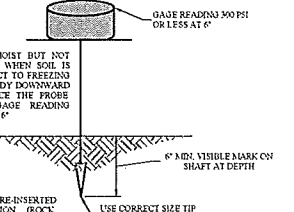
## CONDUIT OUTLET PROTECTION

N.T.S.



NOTES:  
1. WIRE MAY BE RE-INSERTED  
IF/WHEN AN OBSTRUCTION (ROCK,  
ROOT, DEBRIS) IS ENCOUNTERED.

## PROBING WIRE SOIL COMPACTION TEST



NOTE: SOIL SHOULD BE MOIST SATURATED. DO NOT TEST WHEN EXCESSIVELY DRY OR SUBJECT TO TEMPERATURES SLOW, STEADY PRESSURE USED TO ADVANCE MEASURE DEPTH WHEN QAG REACHES 100 PSI OR DEPTH OF 6"

NOTES:  
1. PENETROMETER MAY BE RE-  
USED WHEN AN OBSTRUCTION  
(ROOT, DEBRIS) IS ENCOUNTERED.

## SOIL TESTING

N.T.S.

PRELIMINARY/FINAL  
MAJOR SITE PLAN

120 BRIDGETON PIKE  
BLOCK 83, LOT 6.01, PLATE 18  
MANTUA TOWNSHIP  
GLOUCESTER COUNTY  
NEW JERSEY

FOR

FRANKLIN LAND ASSOC., LLC  
2010 OVERLOOK BOULEVARD  
BRENTWOOD, TENNESSEE 37027

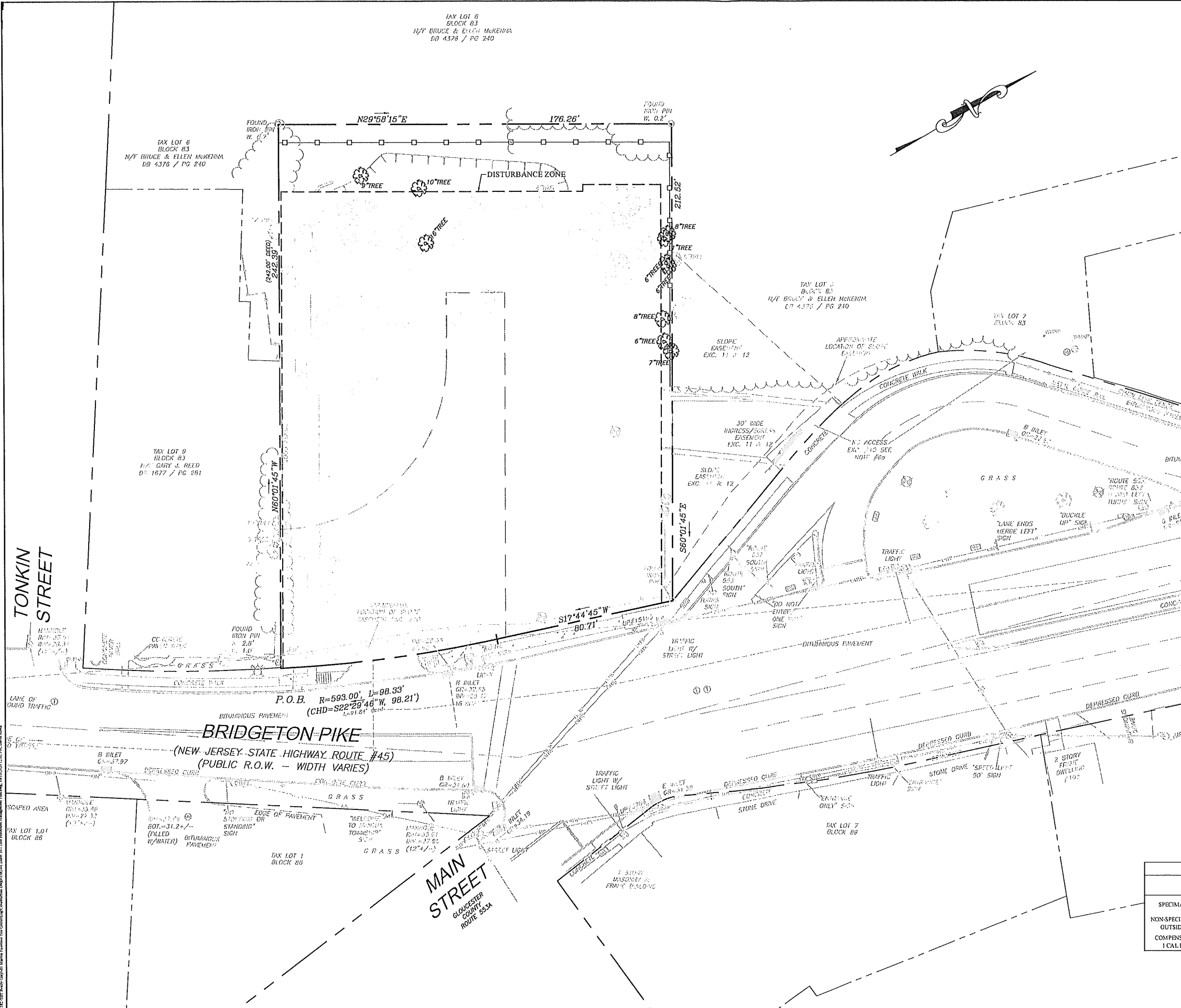
**Brian W. Cleary, PE**  
Professional Engineer  
State of New Jersey • License # GE 51744  
State of Pennsylvania • License # PE001074  
State of Maryland • License # 54411  
State of North Carolina • License # 048763

**SHEET TITLE**  
**SOIL EROSION &  
SEDIMENT  
CONTROL PLAN**

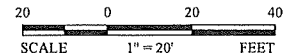
SHEET NUMBER:  
8 of 13







TREE COMPENSATION TABLE		
DESCRIPTION	TREE QUANTITY	TOTAL CALIPER IN.
SPECIMAN TREES TO BE REMOVED	1	16 CAL IN.
NON-SPECIMAN TREES BEING REMOVED OUTSIDE OF DISTURBANCE ZONE	9	71 CAL IN.
COMPENSATION REQUIREMENT AT 1 CAL IN PER 4 CAL IN REMOVED		21.75 CAL IN.



**THE PETTIT GROUP, LLC**  
Engineering • Architecture • Planning  
497 Center Street • Sewell, NJ 08080  
Tel: 856-464-9600 Fax: 856-464-9606  
www.pettitgroup.com  
Certificate of Authorization No. 24GCA2811400

REVISIONS		
NO.	DESCRIPTION	DATE
1	PER CLIENT REVIEW	05/19/19
2	PER BOARD PROFESSIONAL REVIEW	10/19/20

**FOR APPROVAL PURPOSES ONLY**

ALL DOCUMENTS PREPARED BY THE PETTIT GROUP, LLC ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXPRESSIONS OF THE PROJECT OR ANY OTHER PROJECT ANY REUSE WITHOUT WRITTEN PERMISSION BY THE PETTIT GROUP, LLC FOR THE SPECIFIC PROJECT. INTENDED WILL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL ENDORSEMENT TO THE PETTIT GROUP, LLC AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE PETTIT GROUP, LLC FROM CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE OWNER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL UNDERSTAND THAT THE LOCATION OF UTILITIES SHOWN ON THE PLAN ARE ONLY APPROXIMATE. IT IS IMPORTANT TO NOTE THAT NOT ALL UTILITIES MAY BE SHOWN ON THE PLAN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES (GAS, WATER, AND SEWER) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE APPROPRIATE UTILITY MAKE OUT SERVICE (400-71-1000) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR (AT HIS EXPENSE) ALL DAMAGED UTILITIES RESULTING FROM HIS WORK.

DESIGNED BY:	JWC	JOB NO.	159241
DRAWN BY:	ND	DATE	08/20/19
CHECKED BY:	BWC	SCALE	1" = 20'

PROJECT:

**PRELIMINARY/FINAL MAJOR SITE PLAN**

120 BRIDGETON PIKE  
BLOCK 83, LOT 6.01, PLATE 18  
MANTUA TOWNSHIP  
GLOUCESTER COUNTY  
NEW JERSEY

FOR

FRANKLIN LAND ASSOC., LLC  
9010 OVERLOOK BOULEVARD  
BRENTWOOD, TENNESSEE 37027

*Brian W. Cleary*

**BRIAN W. CLEARY, PE**  
Professional Engineer  
State of New Jersey • License # GE 51748  
State of Pennsylvania • License # PE001074  
State of Maryland • License # 54111  
State of North Carolina • License # 045763

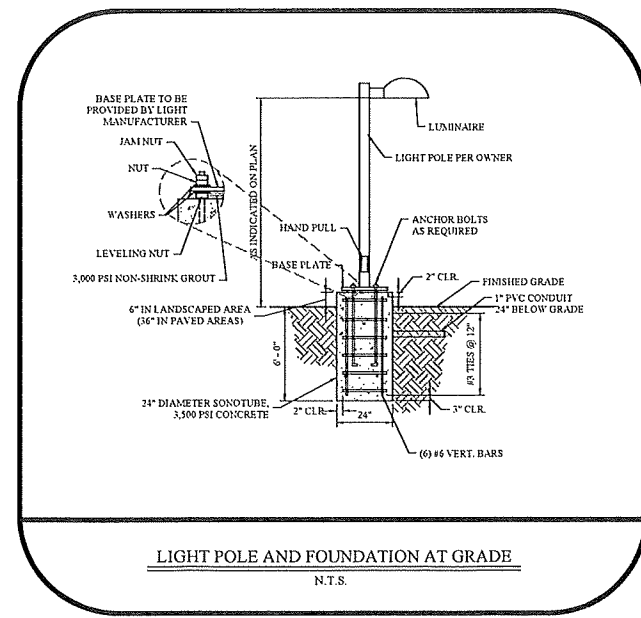
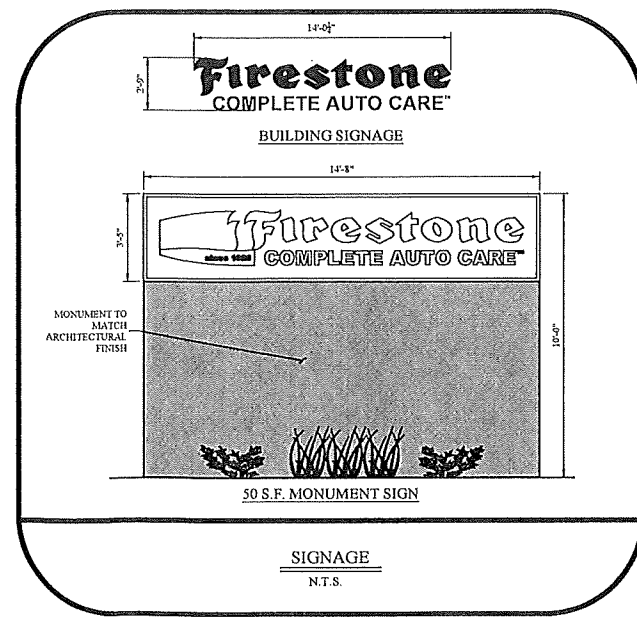
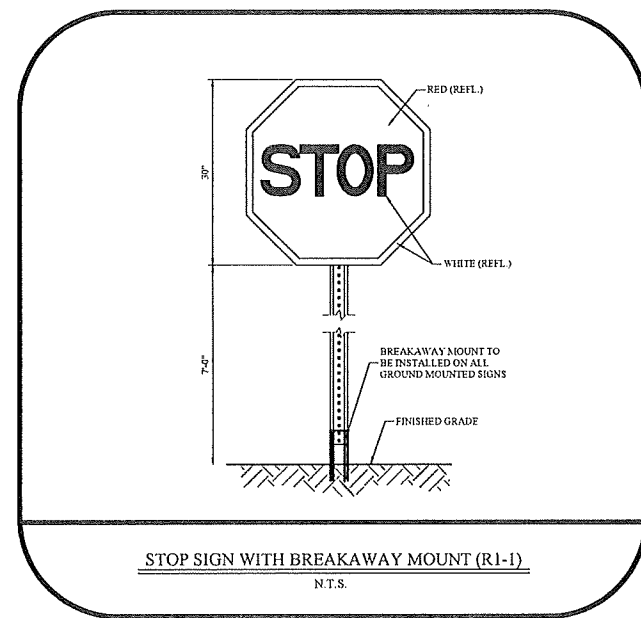
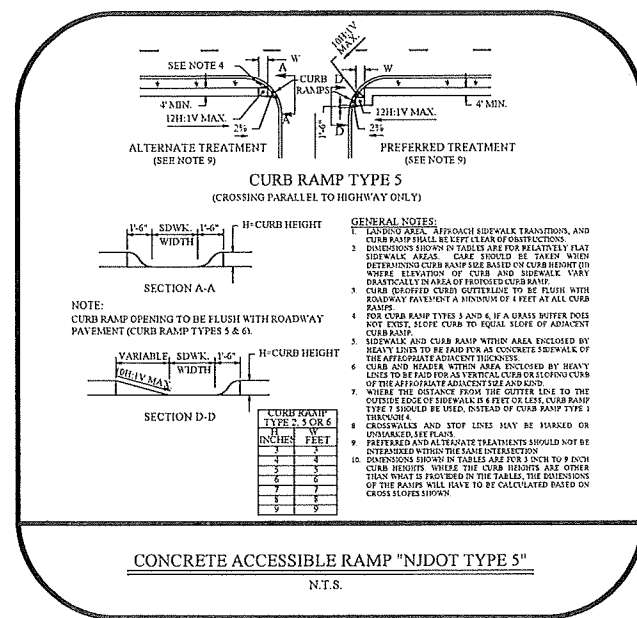
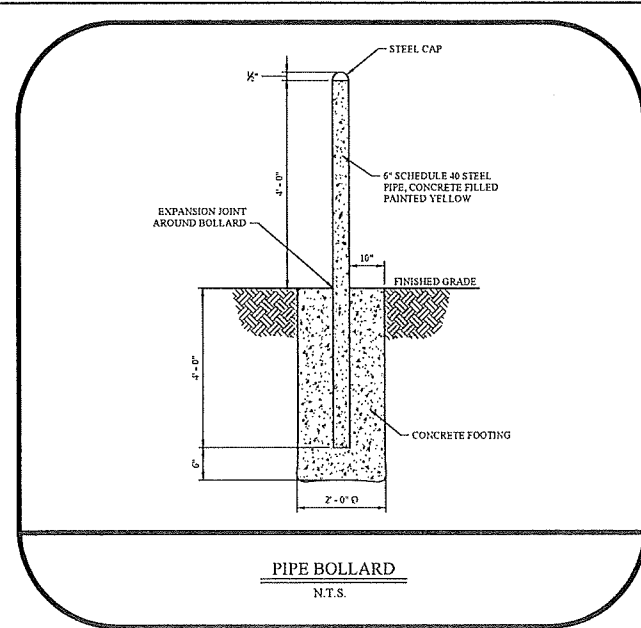
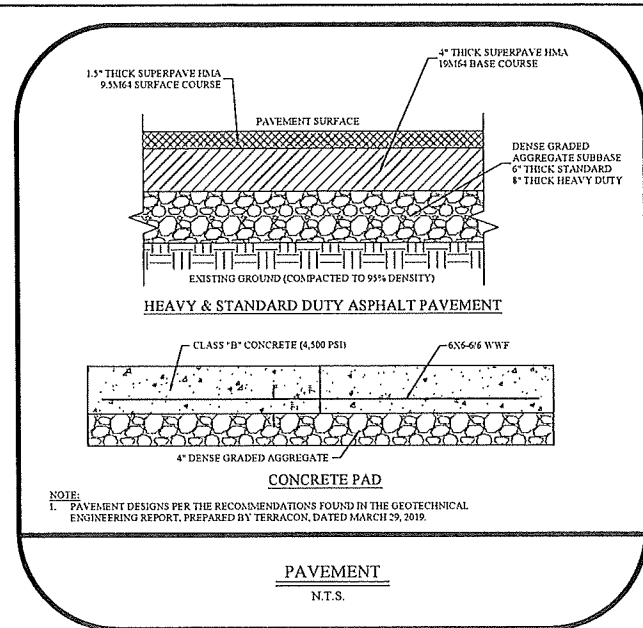
SHEET TITLE

**TREE PROTECTION MANAGEMENT PLAN**

SHEET NUMBER

**10 of 13**





10-19-1582 QJIT Realty Corp.01 Martha Fenton Tire Center/Eng Construction Dept.115-41 Sheet 11-13 Construction Details.doc, 10/19/2020 12:52 PM, David Kieck



**SICKELS &**  
**ASSOCIATES INC.**

SHERWOOD MEWS  
833 KINGS HIGHWAY  
WOODBURY, NEW JERSEY 08096-3102

856-848-8600  
FAX 848-8520

MTMUA-03  
11/07  
02/04

**SICKELS & ASSOCIATES INC.**  
SHERWOOD MEWS  
833 KINGS HIGHWAY  
WOODBURY, NEW JERSEY 08095-3110  
856-848-8800  
FAX 846-8520

**Sickels & Associates Inc.**  
SHERWOOD MEWS  
833 KRIGS  
HIGHWAY  
WINDY, NEW JERSEY 08093-3112  
856-548-6800  
FAX 848-8520

MTMUA-11  
02/04  
11/07

**SICKELS & ASSOCIATES INC.**  
SHERWOOD MEWS  
833 KINGS HIGHWAY  
WOODBURY, NEW JERSEY 06971-2110  
855-848-6800  
FAX 848-8520

MTMUA-06  
02/04  
JLG 12/06  
11/07

**SICKELS & ASSOCIATES INC.**  
SHERWOOD MEWS  
833 KINGS HIGHWAY  
WOODURY, NEW JERSEY 08038-3010  
856-848-8800  
FAX 848-8330

MTMUA-15  
02/04  
11/07

## Product Description

The DS0™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, lightweight LED driver compartment. Versatile mounting configurations offer simple installation. Integral, low-profile design minimizes wind load requirements and blends seamlessly into the site's lighting illumination. The 3' input power designator is a suitable upgrade for HID applications up to 250 Watt, and the "K" input power designator is a suitable upgrade for HID applications up to 400 Watt.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, tunnels, underpasses, and internal roadways.

## Performance Summary

Utilizes Cree TrueWhite® Technology on 5000K Luminaires

NanoOptic® Precision Delivery Grid® optic

Assembled in the U.S. of U.S. and Imported parts

Initial Delivered Lumen's: Up to 17,291

Efficacy: Up to 136 LPW

KIK: Minimum 70 KIK [3000K, 4000K & 5700K]; 90 KIK [5000K]

CCT: 3000K, 4000K, 5000K, 5700K

Limited Warranty: 10 years on luminaires; 10 years on ColorStar DeltaGuard® finish; up to 5 years on Synapse® accessories; 1 year on luminaire accessories

Houzl (Luminaire must be ordered separately)*			
050-			
050-B-AA Adjustable Arm	Color Options:	SY Silver	BZ BZ
050-DA Dicer Arm		TK Black	WW WW
050-TSP Transportation Mount (stainless steel, do not specify color)			
050-TM Trunion Mount			

\* Reference EPA and gear configurations in *Industry data* beginning on page 5

[illegible]

## Product Description

The XP50™ LED wall mount luminaire has a slim, low profile design intended for outdoor wall applications. The rugged lightweight aluminum housing and mounting bracket are designed for installation over standard single gang J-Bones and mud ring single gang J-Bones. The luminaire allows for through-wired or conduit entry from the top, bottom, sides and rear. The housing design is intended specifically for LED technology including a weatherlight LED driver compartment and thermal management. Optic design features industry-leading NanoOptic® Precision Delivery Grid™ system for multiple distributions.

**Applications:** General area and security lighting

## Performance Summary

NanoOptic® Precision Delivery Grid™ optic

Assembled in the U.S.A. of U.S. and Imported parts

CRI: Minimum 70 CRI

CCT: 3000K (+/- 300K); 4000K (+/- 300K); 5700K (+/- 500K)

**Limited Warranty:** 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

\* See full lighting data sheet for warranty terms.

<b>Field-Installed</b>
<b>Beauty Plate</b> W34-PLT32** - 12" (305mm) Square W34-PLT34** - 14" (351mm) Square - Covers holes left by Incumbent wall packs ** Black powdercoated

USG	A	NH								
Product	Version	Mounting	Optic	Input Power Designer		ECT	Voltage	Color Options	Options	
D500	A	NH No Mount	Asymmetric 2ME* Type B 3ME* Type H 4ME* Type L	4ME* Type F 15W 2 Medium 5000K 10 CR	B 30K 3000K, 120-277V 40K UH 4000K 247-400V 5K with B & W 10 CR	ECT	UL Universal 120-277V UH 4000K 247-400V Available with B & W Input Power Designators only	BK Black RZ White Silver White	PHL, Progr up to 10' - 10' or Ernoise PH2 Progr Knew Silver - 10' or D10A/D10 Fix/Air/Air	
			Symmetric 5ME Type V Medium 5SH Type V Short WSN Wide Sign 15P 15" Flood	250 25" Flood 400 40" Flood 400 40" Flood WSN 15P 15" Flood		5700K 70 CR				

- 1-10' (3.05m) per 100 sq ft (9.3 sq m)
- 18" (457mm) seven conductor cable
- Requires photo cell or shutoff cap by others

ALL DOCUMENTS PREPARED BY THE PETTIT GROUP, INC. ARE INSTRUMENTS OF SERVICE AS APPLICABLE TO THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS WITHOUT WRITTEN PERMISSION FROM THE PETTIT GROUP, INC. REUSE WITHOUT WRITTEN PERMISSION BY THE PETTIT GROUP, LLC FOR THE PETTIT GROUP, INC. WITHOUT LIABILITY OR LEGAL EXPOSURE TO THE PETTIT GROUP, LLC AND OWNER SHALL INDEMNIFY AND HOLD THE PETTIT GROUP, INC. HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES AND EXTENSES ARISING OUT OF OR RESULTING THEREFROM.

THE CONTRACTOR MUST VERIFY ALL DOMESTICATED UTILITIES (GAS, WATER, SEWER AND NOTED UTILITIES) WITHIN THE OWNER'S ANY DISCREPANCIES TO THE CONTRACTOR SHALL UNDERSTAND THAT THE CONTRACTOR'S UTILITIES SHALL BE THE ONLY APPROPRIATE. IT IS IMPORTANT TO NOTE THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL UTILITIES (AERIAL AND BURIED) PRIOR TO THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UNDERGROUND UTILITY MARK OUT SERVICE (1-800-725-9000) PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR (AT HIS EXPENSE) ANY DAMAGED UTILITIES RESULTING FROM HIS WORK.

120 BRIDGETON PIKE  
BLOCK 83, LOT 6.01, PLATE 18  
MANTUA TOWNSHIP  
GLOUCESTER COUNTY  
NEW JERSEY

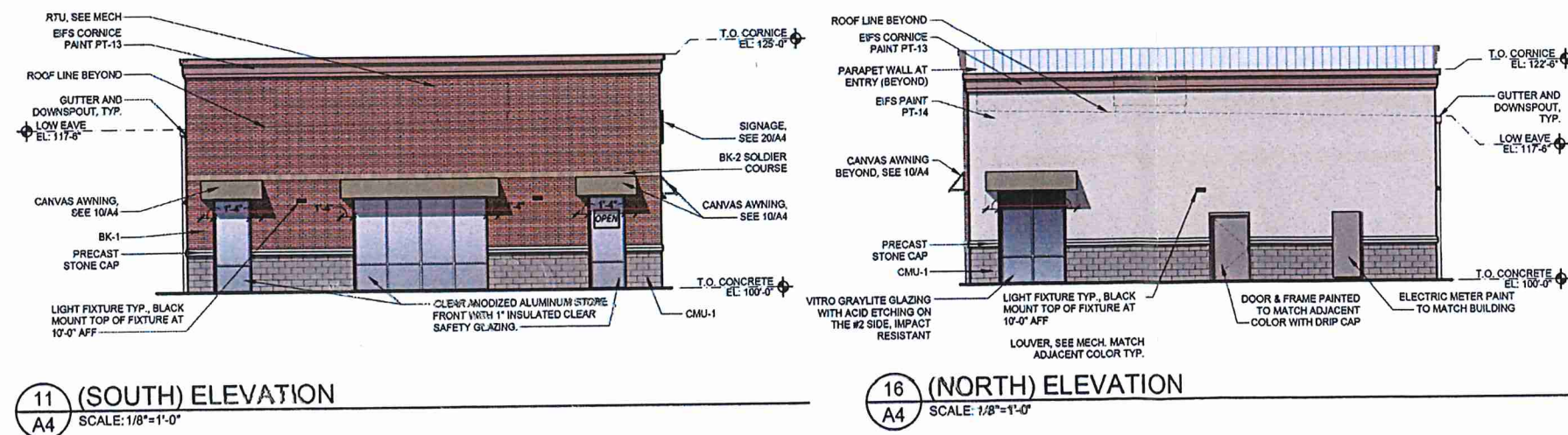
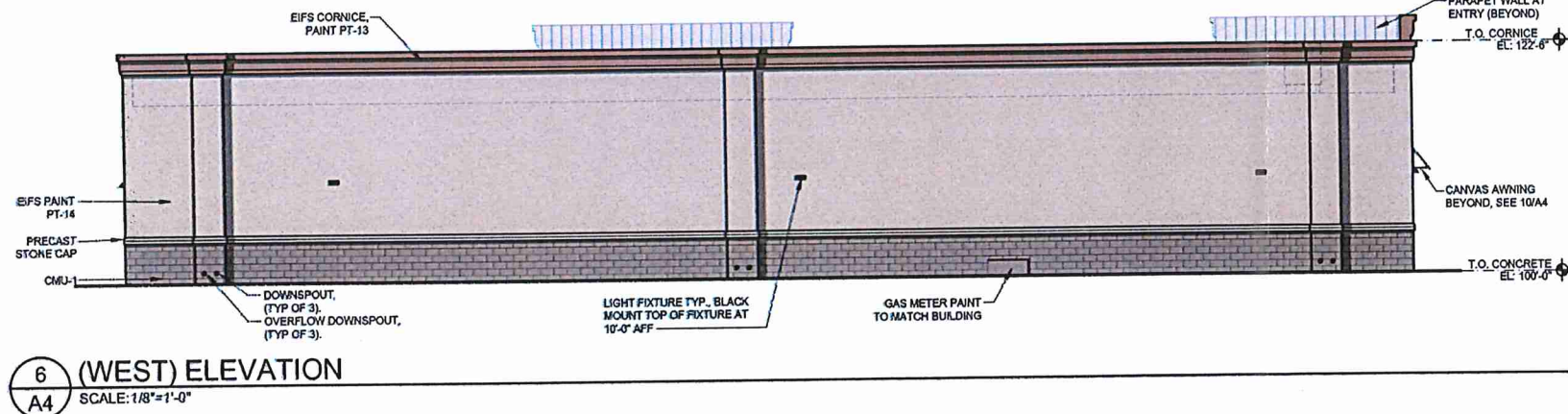
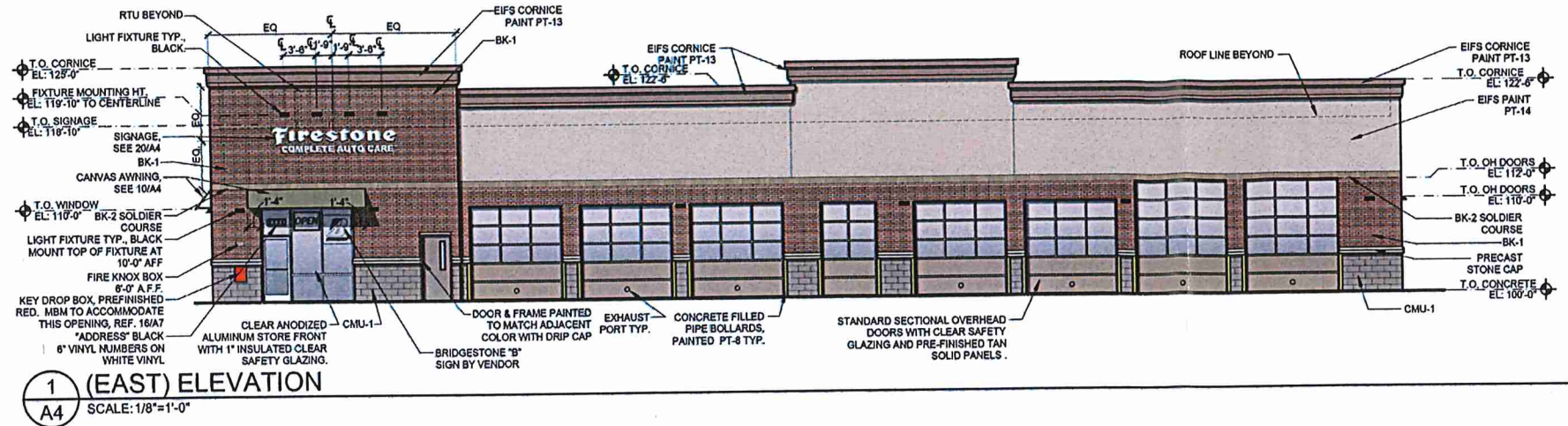
FOR

FRANKLIN LAND ASSOC., LLC  
9010 OVERLOOK BOULEVARD  
BRENTWOOD, TENNESSEE 3702

SHEET NUMBER:

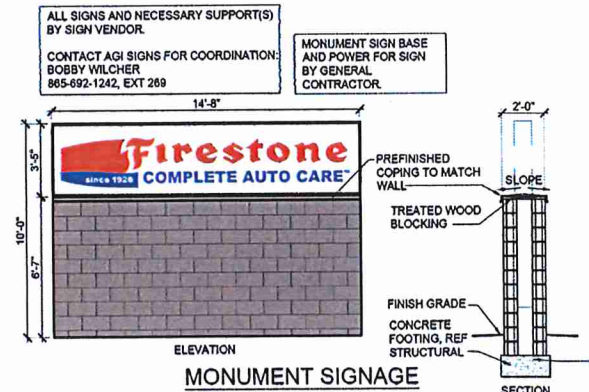
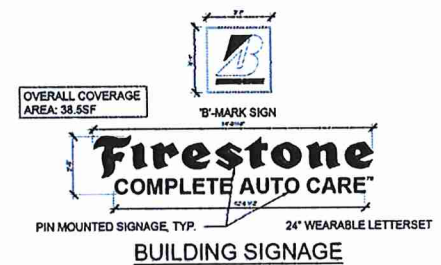
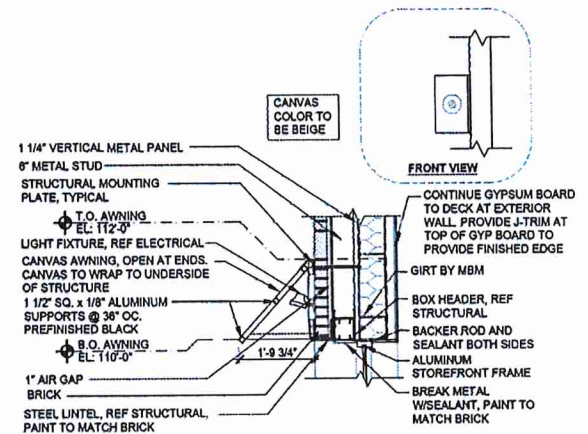
13 of 13





**MATERIAL KEY**  
BK - 1: "GARDEN BLEND" BY BELDEN BRICK  
BK - 2: "MOJAVE BLEND" BY BELDEN BRICK  
CMU - 1: "OAK" BY ECHOLON  
CANVAS AWNING: BEIGE BY SUNBRELLA  
PT-13: "MOCHA" SW 6067  
PT-14: "ACCESSIBLE BEIGE" SW 7036

**GENERAL NOTES:**  
1. PROVIDE DRIP CAP OVER ALL MAN DOORS SEE DETAIL 1C/A3  
2. PAINT ALL EXPOSED UNTELS & JAMBS TO MATCH ADJACENT BUILDING COLOR  
3. SEE ELECTRICAL FOR SIGNAGE OPERATING TIME SETUP  
4. INSTALLATION OF BUILDING SIGNS AND STREET SIGN BY SIGN VENDOR, G.C. TO PROVIDE WIRING. REFER ELECTRICAL  
5. REFER SHEET A8 FOR PAINT COLOR KEY  
6. ANY EXTERIOR CONSTRUCTION JOINT, EXPANSION JOINT, AND CRACK OF ABUTTING DISSIMILAR OR SAME MATERIALS MUST HAVE APPROPRIATE PRODUCT APPLIED TO PROVIDE AN AIR, MOISTURE, AND WATER TIGHT EXTERIOR. REFER TO SPECIFICATION SECTION 072200 FOR PRODUCTS.



CONSTRUCTION DOCUMENTS WILL BE BASED ON THE LATEST RELEASE OF THE PROTOTYPICAL DOCUMENTS ON LUCERNEX AT THE TIME OF CONSTRUCTION DOCUMENT AUTHORIZATION.

NOTE: THIS DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. SITE INFORMATION WAS OBTAINED FROM THE CLIENTS DOCUMENTS; DESIGN MAY VARY.

PROJECT CONTACTS:	PHONE #:	PROJECT CONTACTS:	PHONE #:
NS DEV MGR: CHRIS MILLER	(615) 937-9000	ARCHITECT: OLIVIA GOOD	(918) 587-8600
DESIGN MGR: RICHARD VOGLER	(615) 937-4972	SGA DESIGN GROUP	
CONST MGR: MICHAEL DONOFRIO	(484) 832-4168	ENGINEER: TERRANCE H. COMBS	(856) 464-9600
MGR CONST SUPPORT: CHRIS NAGY	(615) 937-9255		
ATTORNEY: REBEKAH FISHER AND ASSOCIATES	(615) 224-8701	PROTOTYPE: SMALL ER	

ZONE APPROVAL	(BY/DATE):
VP.	
CONT.	
RM.	
CM.	
ENTITY ID: XXXXXXXX	
SITE ID: XXXXXXXX	
LEGACY ID: XXXXXXXX	

**Firestone**  
COMPLETE AUTO CARE

THIS DRAWING IS THE PROPERTY OF BROOKSTONE RETAIL OPERATIONS, LLC AND IS LOANED ON THE EXPRESS CONDITION THAT IT IS NOT TO BE USED IN ANY WAY DELETTERIOUS TO THE INTERESTS OF BROOKSTONE RETAIL OPERATIONS, LLC. THE ACCEPTANCE OF THIS DRAWING SHALL BE CONSTRUED AS AN ACCEPTANCE OF THE FOREGOING CONDITION AND AS ADMISSION TO THE EXCLUSIVE OWNERSHIP IN AND TO THE DRAWING BY BROOKSTONE RETAIL OPERATIONS, LLC.

120 NORTH BRIDGETON PIKE  
MANTUA, NEW JERSEY

Douglas S. Tayrien  
Architect

1437 South Boulder, Suite 550  
Tulsa, Oklahoma 74119-3609  
p: 918.587.8600  
f: 918.587.8601  
www.sgadesigngroup.com

SHEET TITLE: EXTERIOR ELEVATIONS & DETAILS

SHEET NUMBER: PA4



SHEET NUMBER  
1 of 2